

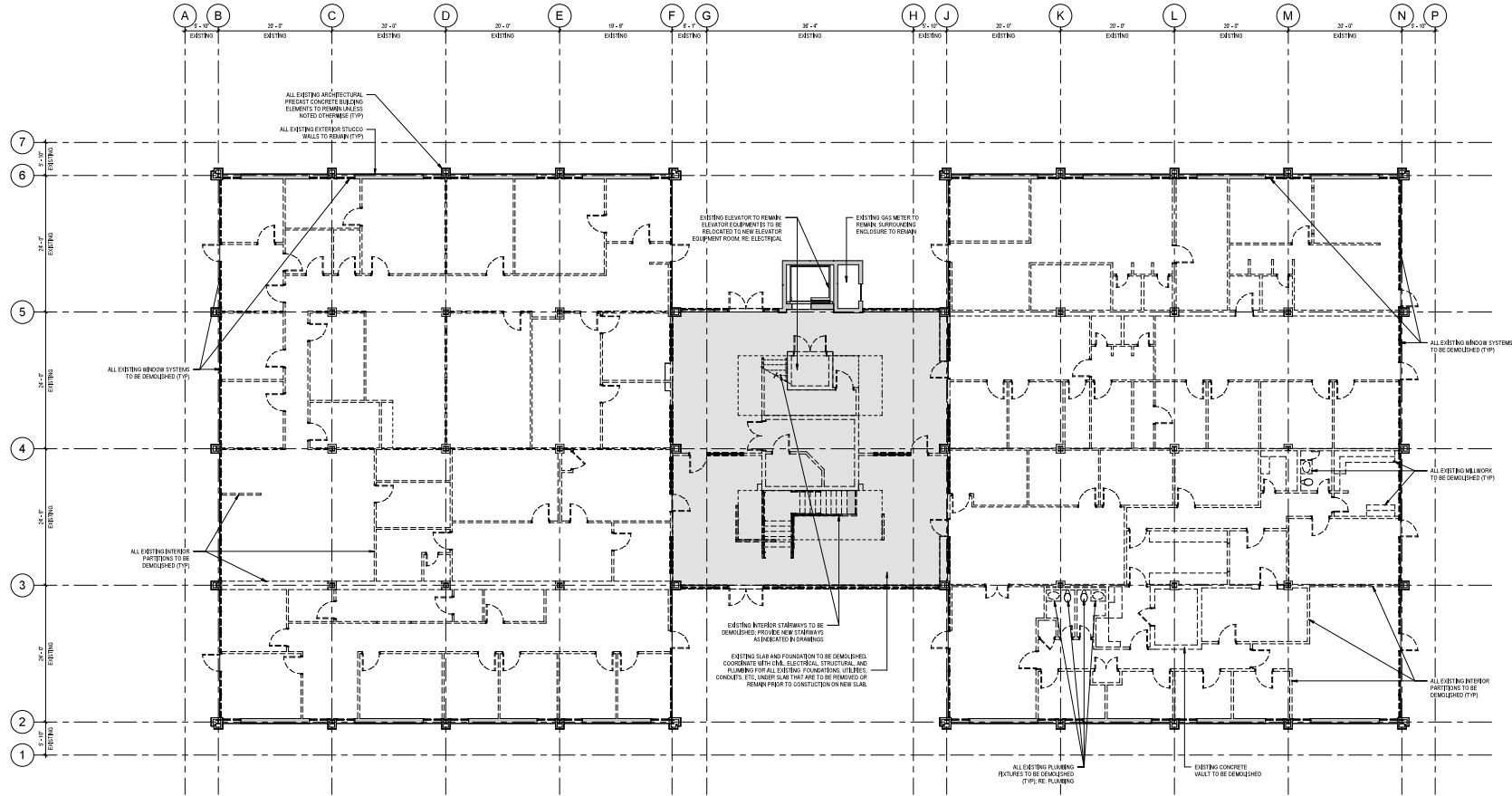
SHEET	REFERENCE
AS1	ARCHITECTURAL SITE PLAN
AS1-1	FLOOR PLANS
AS1-1.1	ENLARGED LOBBY PLANS AND ELEVATIONS
AS1-1.2	ENLARGED RESTROOM PLANS AND ELEVATIONS
AS1-1.3	ENLARGED ELEVATOR AND HOIST ENLARGED STAIR PLANS AND SECTIONS
AS1-1.3.1	DOOR AND WINDOW SCHEDULES, ELEVATIONS AND DETAILS
AS1-1.3.2	ROOF PLAN AND DETAILS
AS1-1.3.3	BUILDING ELEVATIONS
AS1-1.3.4	BUILDING SECTIONS AND WALL SECTIONS
AS1-1.3.5	FINISH FLOOR PLANS AND SCHEDULES
AS1-1.3.6	REFLECTED CEILING PLANS
AS1-1.3.7	MECHANICAL PLANS AND DETAILS



NOTE: EXISTING FLOOR PLANS MAY VARY FROM ARCHITECT'S DRAWING BOARD PLANS. CONTRACTORS SHALL VERIFY CORRECT LAYOUTS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR OBTAINING SCOPE TO ACHIEVE THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

- ### General Demolition Notes
- THESE NOTES APPLY TO ALL DEMOLITION WORK FOUND WITHIN THE BID DOCUMENTS.
 - ARCHITECT'S EXISTING STRUCTURE DIMENSIONS ARE TO BE OBTAINED BY MEASUREMENT, WHETHER INDICATED OR NOT.
 - CONTRACTOR TO CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND WITHIN THE BID DOCUMENTS AND/OR BETWEEN THE BID DOCUMENTS AND EXISTING CONDITIONS.
 - THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL THAT IS REQUIRED IN ORDER TO ACCOMPLISH THE NEW WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE BUILDING AND THE SURROUNDING SITE, ENSURING THAT GAS, ELECTRIC, AND WATER SYSTEMS ARE SAFELY LOCATED, MONITORED AND PROTECTED DURING DEMOLITION.
 - THE CONTRACTOR IS RESPONSIBLE TO PROTECT THE PUBLIC AND THE PROPER MEASURES TAKEN AND COORDINATED WITH THE OWNER TO PROTECT PUBLIC SAFETY. THIS SHALL INCLUDE SAFETY AND CLEAN LIMITS OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE DEMOLITION WORK AREA SAFE BY SHORING AND BRACING THE BUILDING IF REQUIRED DURING DEMOLITION AND DEBRIS REMOVAL. THE ARCHITECT SHALL BE CONTACTED IMMEDIATELY IN WRITING IF ANY UNUSUAL CONDITIONS ARE ENCOUNTERED DURING DEMOLITION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLARIFICATION BEFORE PROCEEDING.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGED MATERIALS THAT ARE TO BE REUSED AND SHALL NEATLY STORE THEM IN A DRY WEATHER-PROOF AREA ON SITE. ALL ITEMS TO BE STORED AS APPROVED BY ARCHITECT. CLEAN ALL SALVAGED ITEMS THOROUGHLY BEFORE SHIPPING.
 - SEE MEP DRAWINGS AND SPECIFICATIONS FOR TRADE SPECIFIC DEMOLITION.
 - IN AN EVENT THAT IT IS DETERMINED THAT ITEMS ARE TO REMAIN OR BE REUSED IN THE PROJECT'S COMPLETED PROJECT, ALL EXPENSES INCURRED IN REPRODUCING ANY DAMAGED ITEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL REPLACEMENT REPRODUCTIONS SHALL BE APPROVED BY THE ARCHITECT FOR ACCURACY.
 - SOILS, FILL MATERIALS AND OTHER MATERIALS THAT ARE TO BE REMOVED AND/OR REUSED SHALL BE TESTED FOR ASBESTOS AND LEAD. THE REPORTS AND REMEDIATION PROCEDURES ARE INCLUDED IN THE SPECIFICATIONS.

- ### General Scope of Work
- DEMOLITION EFFORTS FOR THE PROJECT INCLUDES COMPLETELY CUTTING THE INTERIOR OF THE BUILDING TO EXPOSE ALL WALLS, DOORS, WINDOWS, INTERIOR AND EXTERIOR CEILING, FLOOR FINISHES, LOBBY STAIRS, FIRST-FLOOR LOBBY SLAB, STUCCO COFFERS, ELECTRICAL SYSTEMS, MECHANICAL SYSTEMS, PLUMBING SYSTEMS, ETC. ALL STRUCTURAL COMPONENTS, PRECAST CONCRETE COMPONENTS, SECOND-FLOOR LOBBY PARTITIONS THROUGHOUT THE FIRST FLOOR FINISHES, AND THE SECOND-FLOOR LOBBY FLOOR FINISHES ARE TO REMAIN AND BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION. THE EXISTING ELEVATOR IS TO REMAIN AND ALL EXISTING ELEVATOR EQUIPMENT IS TO BE RELOCATED TO THE NEW ELEVATOR EQUIPMENT ROOM. SEE THE DRAWINGS FOR EACH DISCIPLINE FOR SPECIFIC DEMOLITION REQUIREMENTS.



First Floor Plan - Existing + Demolition
SCALE: 1/8" = 1'-0"

FIRST FLOOR	17,805 GSF
SECOND FLOOR	20,000 GSF
TOTAL	37,805 GSF



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Office of Capitol Facilities | Department of Finance and Administration
G#S# 385-001 BUILDING RENOVATIONS - 660 NORTH STREET
JACKSON, MISSISSIPPI

INSURANCE SCHEDULE	
2022.01.01	2022.12.31
2022.01.01	2022.12.31
2022.01.01	2022.12.31
2022.01.01	2022.12.31

Drawn By: C.P.H.A.S.
Checked By: C.B.C.

AR PRM 20-003

BID DOCUMENTS



D1.1
EXISTING + DEMO
FIRST FLOOR
PLAN

SHEET	REFERENCE
ALL1	ARCHITECTURAL SITE PLAN
ALL1-ALL2	FLOOR PLANS
ALL1-ALL3	ENLARGED LOBBY PLANS AND ELEVATIONS
ALL1	ENLARGED RESTROOM PLANS AND ELEVATIONS
ALL1-ALL12	INTERIOR ELEVATIONS AND DETAILS
ALL13	ENLARGED STAIR PLANS AND SECTIONS
ALL14	DOOR AND WINDOW SCHEDULES, ELEVATIONS AND DETAILS
ALL15	ROOF PLAN AND DETAILS
ALL16	BUILDING ELEVATIONS
ALL17	BUILDING SECTIONS AND WALL SECTIONS
ALL18	MECHANICAL PLANS AND SCHEDULES
ALL19	REFLECTED CEILING PLANS
ALL20	MILLWORK PLANS AND DETAILS

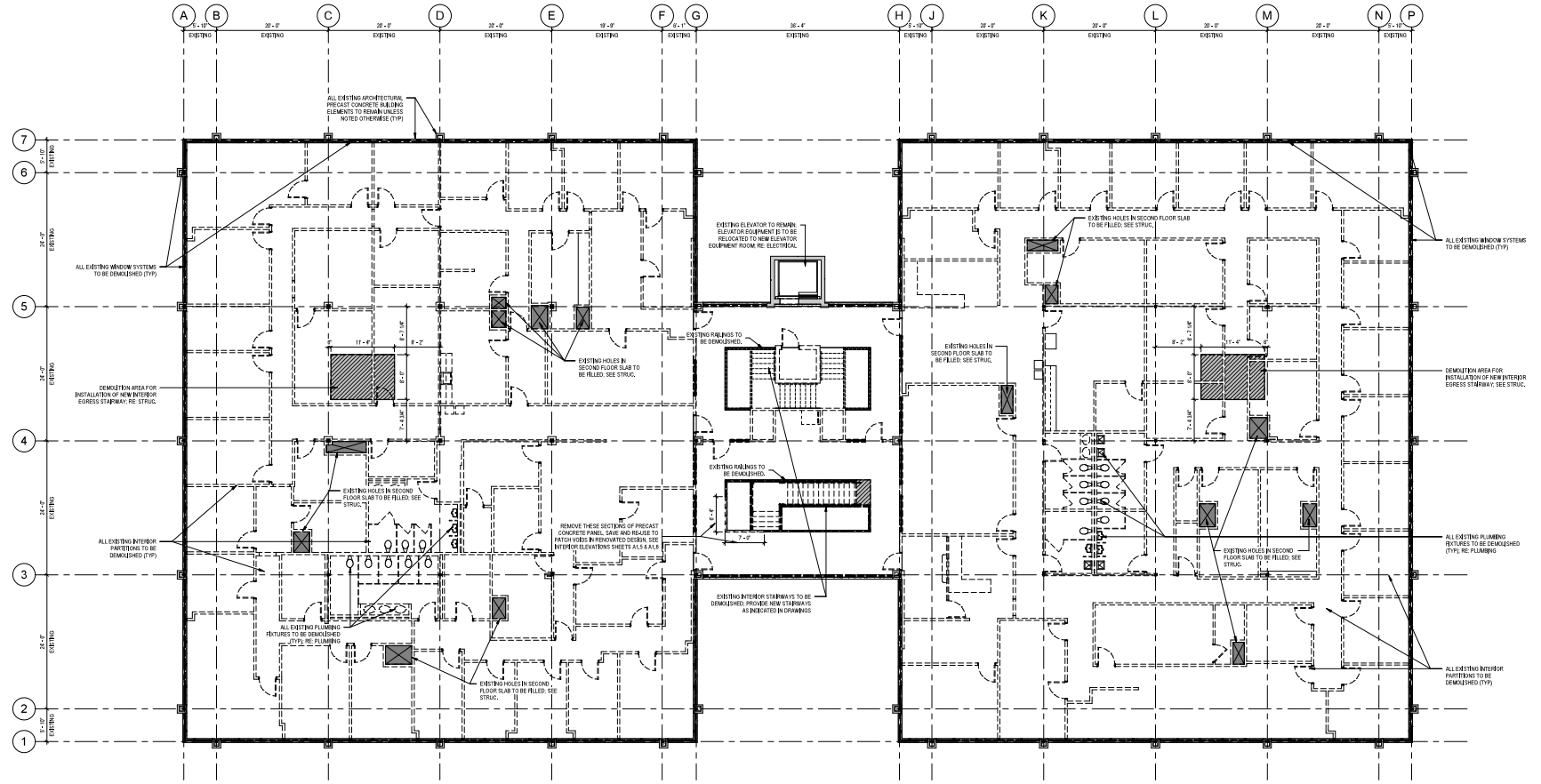


NOTE: EXISTING FLOOR PLANS MAY VARY FROM LOCUS SURVEY DRAWING PLANS. CONTRACTORS SHALL VERIFY CORRECT LOCUS VISITS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR QUALITY CONTROL TO ACHIEVE THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

- General Demolition Notes**
- THESE NOTES APPLY TO ALL DEMOLITION WORK FOUND WITHIN THE BID DOCUMENTS.
 - ALL DEMOLITION STRUCTURES SHALL BE REMOVED AS SHOWN OR MEASURED, WHETHER INDICATED OR NOT.
 - CONTRACTOR TO CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND WITHIN THE BID DOCUMENTS AND/OR BETWEEN THE BID DOCUMENTS AND ANY OTHER SETTING DOCUMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL THAT IS REQUIRED IN ORDER TO ACCOMPLISH THE NEW WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE BUILDING AND THE SURROUNDING SITE, ENSURING THAT GAS, ELECTRIC, AND WATER SYSTEMS ARE SAFELY LOCATED, MONITORED AND PROTECTED DURING DEMOLITION.
 - THE CONTRACTOR SHALL PROTECT ALL ADJACENT AREAS AND PROTECT ALL UTILITIES TAKEN AND COORDINATED WITH THE OWNER TO PROTECT PUBLIC SAFETY. THIS SHALL INCLUDE SAFE AND CLEAN LIMITS OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE DEMOLITION WORK AREA SAFE BY SHORING AND BRACING THE BUILDING IF REQUIRED DURING DEMOLITION AND DEBRIS REMOVAL. THE ARCHITECT SHALL BE CONTACTED WHENEVER UNUSUAL CONDITIONS EXIST.
 - IF DURING THE COURSE OF DEMOLITION A COUNTRY WIRE IS FOUND AS TO WHAT IS TO BE REMOVED CONTACT THE ARCHITECT FOR ON-SITE CLARIFICATION BEFORE PROCEEDING.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGED MATERIALS THAT ARE TO BE REMOVED AND SHALL NEATLY STORE THEM IN A DRY WEATHER-PROOF AREA ON SITE. ALL ITEMS TO BE STORED AS APPROVED BY ARCHITECT. CLEAN ALL SALVAGE ITEMS THOROUGHLY BEFORE SHIPPING.
 - SEE NEW DRAWINGS AND SPECIFICATIONS FOR TRADE SPECIFIC DEMOLITION.
 - IN ALL ITEMS THAT TO REMAIN OR BE REUSED IN THE PROJECT DEMOLITION, ALL EXPENSES INCURRED IN REPRODUCING ANY DAMAGED OR DESTROYED ITEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL REPLACEMENT REPRODUCTIONS SHALL BE APPROVED BY THE ARCHITECT FOR ACCURACY.
 - SOILS, THE BUILDING AND BEEN TESTED FOR ASBESTOS AND LEAD PAINT. THE REPORTS AND REMEDIATION PROCEDURES ARE INCLUDED IN THE SPECIFICATIONS.

General Scope of Work

DEMOLITION EFFORTS FOR THE PROJECT INCLUDES COMPLETELY CUTTING THE INTERIOR OF THE BUILDING TO INCLUDE ALL WALLS, DOORS, WINDOW INTERIOR AND EXTERIOR, CEILING, FLOOR FINISHES, LOBBY STAIRS, FIRST-FLOOR LOBBY SLAB, STYCOO OFFICE, ELECTRICAL SYSTEMS, MECHANICAL SYSTEMS, PLUMBING SYSTEMS, ETC. ALL STRUCTURAL COMPONENTS, PRECAST CONCRETE COMPONENTS, SOAK EXTERIOR, ALL MATERIALS THROUGHOUT THE FIRST FLOOR, LOBBY, AND THE SECOND-FLOOR LOBBY FLOOR. THE INSTALLATIONS ARE TO REMAIN AND BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION. THE EXISTING ELEVATOR IS TO REMAIN AND ALL EXISTING ELEVATOR EQUIPMENT IS TO BE RELOCATED TO THE NEW ELEVATOR EQUIPMENT ROOM. SEE THE DRAWINGS FOR EACH DISCIPLINE FOR SPECIFIC DEMOLITION REQUIREMENTS.



Second Floor Plan - Existing + Demolition
 SCALE: 1/8" = 1'-0"

FIRST FLOOR: 11,925 SQ'F
 SECOND FLOOR: 10,345 SQ'F
 TOTAL: 22,270 SQ'F

ISSUANCE SCHEDULE

DATE	DESCRIPTION
2022.07.24	Final Permitting
2022.08.15	Final Bid Opening
2023.04.18	Final Dec.

Drawn By: C.F.H.A.S.
 Checked By: C.F.H.S.

AN PRIM 20-003

BID DOCUMENTS





2 EXISTING ROOF (REFERENCE PHOTO)

SCALE: N.T.S.

Sheet Reference Index

SHEET	REFERENCE
ALL	ARCHITECTURAL SITE PLAN
ALL-1	FLOOR PLANS
ALL-102	ENLARGED LOBBY PLANS AND ELEVATIONS
ALL-103	ENLARGED RESTROOM PLANS AND ELEVATIONS
ALL-104	ENLARGED MECHANICAL ROOM PLANS AND ELEVATIONS
ALL-105	ENLARGED STAIR PLANS AND SECTIONS
ALL-106	DOOR AND WINDOW SCHEDULES, ELEVATIONS AND DETAILS
ALL-107	ROOF PLAN AND DETAILS
ALL-108	BUILDING ELEVATIONS
ALL-109	BUILDING SECTIONS AND WALL SECTIONS
ALL-110	FIRST FLOOR PLANS AND SCHEDULES
ALL-111	REFLECTED CEILING PLANS
ALL-112	MULLION PLANS AND DETAILS

Roof Demolition Note

ALL EXISTING ROOFING MATERIALS AND ACCESSORIES ARE TO BE REMOVED DOWN TO THE EXISTING CONCRETE OR METAL ROOF DECK INCLUDING BUT NOT LIMITED TO ROOFING MEMBRANE, INSULATION, FLASHING, FASCIA, FLASHING ACCESSORIES, ETC. IN PREPARATION FOR INSTALLATION OF THE NEW ROOFING ASSEMBLY, ALL ROOFTOP MECHANICAL EQUIPMENT TO BE REMOVED. SEE MECHANICAL DRAWINGS FOR ROOFTOP INFORMATION. ALL EXISTING DUCT PENETRATIONS ARE TO BE FILLED WITH NEW STEEL DECKING IN CHANNELS AND THE CONCRETE, VERTICALLY, TO BE FILLED WITH ADDITIONAL POLYURETHAN INSULATION TO BE FLUSH WITH THE TOP OF THE CONCRETE ROOF DECK BEFORE APPLICATION OF THE ROOF ASSEMBLY INSULATION.

General Demolition Notes

1. THESE NOTES APPLY TO ALL DEMOLITION WORK FOUND WITHIN THE BID DOCUMENTS.
2. ALL EXISTING STRUCTURE, ALL DIMENSIONS ARE TO BE MEASURED, WHETHER INDICATED OR NOT.
3. CONTRACTOR TO CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND WITHIN THE BID DOCUMENTS AND/OR BETWEEN THE BID DOCUMENTS AND EXISTING CONDITIONS.
4. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL THAT IS REQUIRED IN ORDER TO ACCOMPLISH THE NEW WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE BUILDING AND THE SURROUNDING SITE, ENSURING THAT GAS, ELECTRIC, AND WATER SYSTEMS ARE SAFELY LOCATED, MONITORED AND PROTECTED DURING DEMOLITION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND THE PROPER MEASURES TAKEN AND COORDINATED WITH THE OWNER TO PROTECT PUBLIC SAFETY. THIS SHALL INCLUDE SAFETY AND CLEARANCES OF CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE DEMOLITION WORK AREA SAFE BY SHIELDING AND BRACING THE BUILDING IF REQUIRED DURING DEMOLITION AND DEBRIS REMOVAL. THE ARCHITECT SHALL BE CONTACTED IMMEDIATELY IN WRITING IF ANYTHING IS FOUND TO BE A HAZARD TO THE PUBLIC OR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLARIFICATION BEFORE PROCEEDING.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGED MATERIALS THAT ARE TO BE REUSED AND SHALL NEATLY STORE THEM IN A DRY WEATHER PROOF AREA ON SITE. ALL ITEMS TO BE STORED AS APPROVED BY ARCHITECT. CLEAN ALL SALVAGED ITEMS THOROUGHLY BEFORE REUSE.
9. SEE MECHANICAL DRAWINGS AND SPECIFICATIONS FOR TRADE SPECIFIC DEMOLITION.
10. IF ANY ITEM IS TO BE REUSED OR REINSTALLED IN THE PROJECT, ALL EXPENSES INCURRED IN REPRODUCING ANY DAMAGED OR MISSING ITEMS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL REPLACEMENT REPRODUCTIONS SHALL BE APPROVED BY THE ARCHITECT FOR ACCURACY.
11. SOILS, THE BUILDING HAS BEEN TESTED FOR ASBESTOS AND LEAD PAINT. THE REPORTS AND REMEDIATION PROCEDURES ARE INCLUDED IN THE SPECIFICATIONS.

General Scope of Work

DEMOLITION EFFORTS FOR THE PROJECT INCLUDES COMPLETELY CUTTING THE INTERIOR OF THE BUILDING TO INCLUDE ALL WALLS, DOORS, MIRRORS, INTERIOR AND EXTERIOR CEILING, FLOOR FINISHES, LOBBY STAIRS, BEST-FLOOR LOBBY SLAB, STYCOO OFFICE, ELECTRICAL SYSTEMS, MECHANICAL SYSTEMS, PLUMBING SYSTEMS, ETC. ALL STRUCTURAL COMPONENTS, PRECAST CONCRETE COMPONENTS, SOLO-CRATERED WALL PARTITIONS THROUGHOUT THE FIRST FLOOR, AND THE SECOND-FLOOR LOBBY FLOOR. ALL INSTALLATIONS ARE TO REMAIN AND BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION. THE EXISTING ELEVATOR IS TO REMAIN AND ALL EXISTING ELEVATOR EQUIPMENT IS TO BE RELOCATED TO THE NEW ELEVATOR EQUIPMENT ROOM. SEE THE DRAWINGS FOR EACH DISCIPLINE FOR SPECIFIC DEMOLITION REQUIREMENTS.



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Office of Capitol Facilities | Department of Finance and Administration
GS# 385-001 BUILDING RENOVATIONS - 660 NORTH STREET
JACKSON, MISSISSIPPI

ISSUANCE SCHEDULE	
2022.07.21	Final Contract
2022.08.01	Final Permit
2022.08.15	Final Bid Doc.

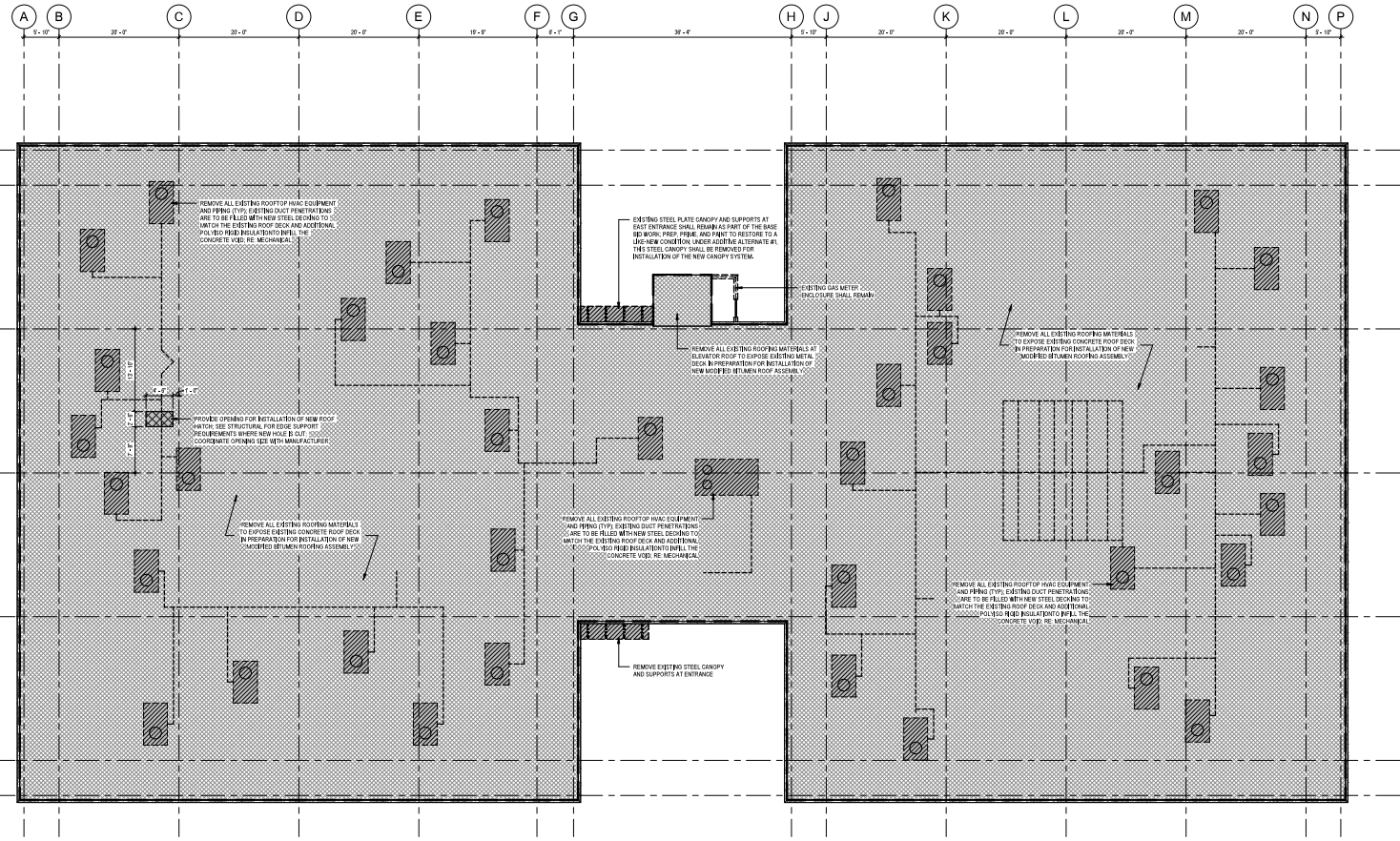
Drawn By: C.H.A.S.
Checked By: C.H.S.

AR PM 20-003

BID DOCUMENTS



D3.1
EXISTING + DEMO
ROOF PLAN



Roof Plan - Existing + Demolition
SCALE: 1/8" = 1'-0"

RESPONSE SCHEDULE	
2022.07.01	Submittal
2022.07.15	Pre-Bidding
2022.08.01	Bid Doc.

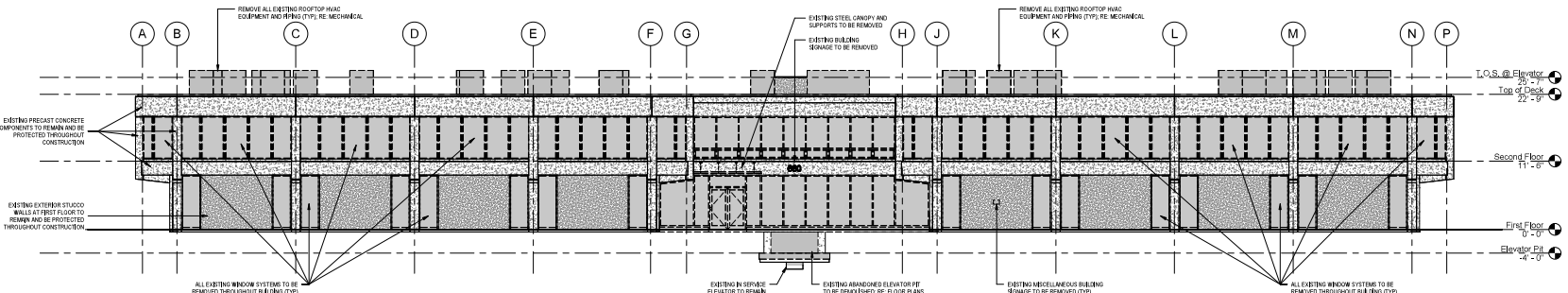
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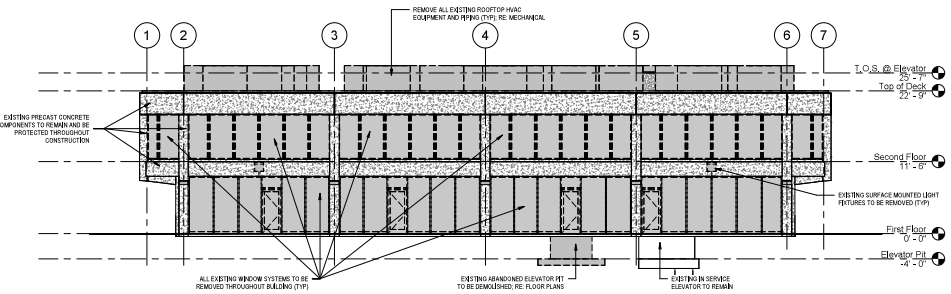
BID DOCUMENTS



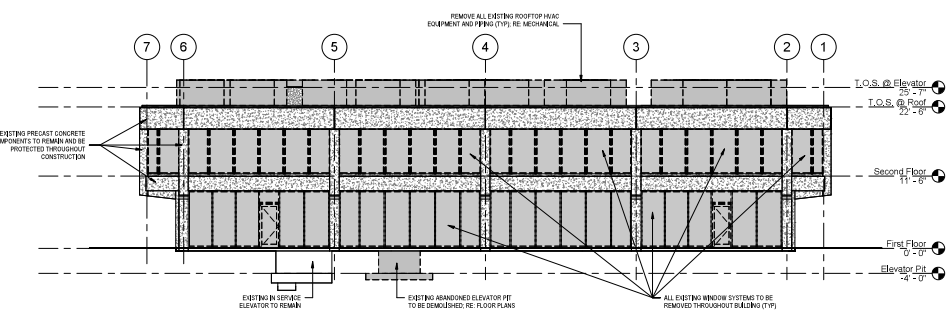
D4.1
 EXISTING + DEMO
 BUILDINGS
 ELEVATIONS



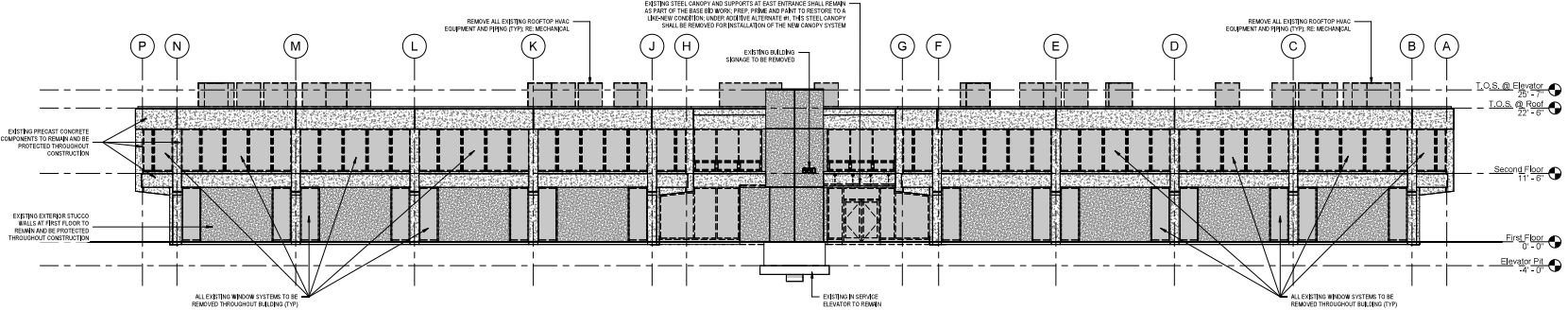
4 West Elevation - Existing + Demolition
 SCALE: 1/8" = 1'-0"



3 South Elevation - Existing + Demolition
 SCALE: 1/8" = 1'-0"



2 North Elevation - Existing + Demolition
 SCALE: 1/8" = 1'-0"



1 East Elevation - Existing + Demolition
 SCALE: 1/8" = 1'-0"

Demolition Legend

==== EXISTING BUILDING ELEMENT TO BE REMOVED AND DISCARDED

- ### General Demolition Notes
1. THESE NOTES APPLY TO ALL DEMOLITION WORK FOUND WITHIN THE BID DOCUMENTS.
 2. AS THE CONTRACTOR PROCEEDS WITH DEMOLITION WORK, HE SHALL MAINTAIN RECORDS OF THE DEMOLITION WORK, INCLUDING THE DATE, LOCATION, AND EXTENT OF THE WORK.
 3. THE CONTRACTOR SHALL CONTACT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND WITHIN THE BID DOCUMENTS AND/OR BETWEEN THE BID DOCUMENTS AND THE FIELD CONDITIONS.
 4. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL THAT IS REQUIRED IN ORDER TO ACCOMMODATE THE NEW WORK.
 5. THE CONTRACTOR IS RESPONSIBLE FOR THE BUILDING AND THE SURROUNDING SITE. ENSURE THAT GAS, ELECTRICAL, AND WATER SYSTEMS ARE SAFELY LOCATED, MONITORED AND PROTECTED DURING DEMOLITION.
 6. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE DEMOLITION WORK AREA SAFE BY CHORDING AND BRACING THE BUILDING TO PROTECT PUBLIC SAFETY. THIS SHALL INCLUDE SAFE AND CLEAR LIMITS OF CONSTRUCTION.
 7. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE DEMOLITION WORK AREA SAFE BY CHORDING AND BRACING THE BUILDING IF REQUIRED DURING DEMOLITION AND DEBRIS REMOVAL. THE ARCHITECT SHALL BE CONTACTED WHENEVER UNUSUAL CONDITIONS EXIST.
 8. IF DURING THE COURSE OF DEMOLITION A CONTACT AREA IS TO BE REMOVED CONTACT THE ARCHITECT FOR ON-SITE CLARIFICATION BEFORE PROCEEDING.
 9. THE CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGED MATERIALS THAT ARE TO BE REUSED AND SHALL NEATLY STORE THEM IN A DRY WEATHER PROOF AREA ON SITE. ALL ITEMS TO BE STORED AS APPROVED BY ARCHITECT. CLEAN ALL SALVAGE ITEMS THOROUGHLY BEFORE STORAGE.
 10. SEE MEP DRAWINGS AND SPECIFICATIONS FOR TRADE SPECIFIC DEMOLITION.
 11. IF ANY ITEM IS TO BE REMOVED OR IS BEING REMOVED THE PROJECT IS DAMAGED, ALL EXPENSES INCURRED IN REPRODUCING ANY DAMAGED ITEM WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL REPLACEMENT REPRODUCTIONS SHALL BE APPROVED BY THE ARCHITECT FOR ACCURACY.
 12. NOTE: THE BUILDING HAS BEEN TESTED FOR ASBESTOS AND LEAD PAINT. THE REPORTS AND REMEDIATION PROCEDURES ARE INCLUDED IN THE SPECIFICATIONS.

General Scope of Work

DEMOLITION EFFORTS FOR THIS PROJECT INCLUDES COMPLETELY CUTTING THE INTERIOR OF THE BUILDING TO INCLUDE ALL WALLS, STUCCO, WINDOW SYSTEMS AND EXTERIOR BUILDING FLOOR FINISHES, LOBBY STAIRS, PRECAST CONCRETE LOBBY SLAB, STUCCO SYSTEMS, ELECTRICAL SYSTEMS, MECHANICAL SYSTEMS, PLUMBING SYSTEMS, ETC. ALL STRUCTURAL COMPONENTS, PRECAST CONCRETE COMPONENTS, STUCCO SYSTEM WALL SYSTEMS, MECHANICAL SYSTEMS, PLUMBING SYSTEMS AND THE SECOND-FLOOR LOBBY FLOOR THE INSTALLATIONS ARE TO REMAIN AND BE PROTECTED THROUGHOUT THE COURSE OF CONSTRUCTION. THE EXISTING ELEVATOR IS TO REMAIN AND ALL EXISTING ELEVATOR EQUIPMENT IS TO BE RELICATED TO THE NEW ELEVATOR EQUIPMENT ROOM. SEE THE DRAWINGS FOR EACH DISCIPLINE FOR SPECIFIC DEMOLITION REQUIREMENTS.

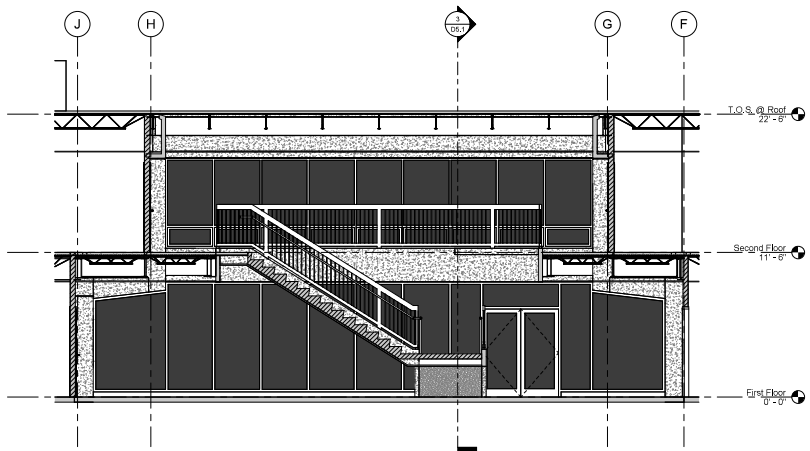


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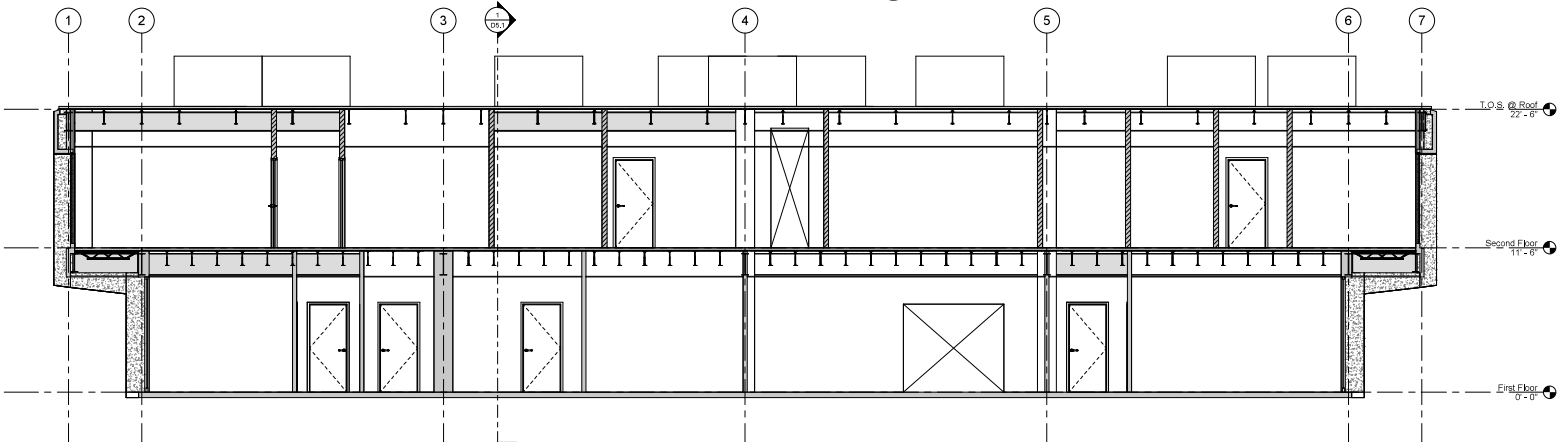
DEMOLITION NOTE:
BUILDING SECTIONS PRESENTED ON THIS SHEET ARE REPRESENTATIVE OF THE EXISTING CONDITIONS AND ARE NOT INTENDED TO CONVEY ANY DEMOLITION WORK REQUIRED FOR THIS PROJECT. SEE DEMOLITION FLOOR PLANS, REFLECTED CEILING PLANS, ROOF PLAN AND ELEVATIONS FOR REQUIRED DEMOLITION SCOPE OF WORK.



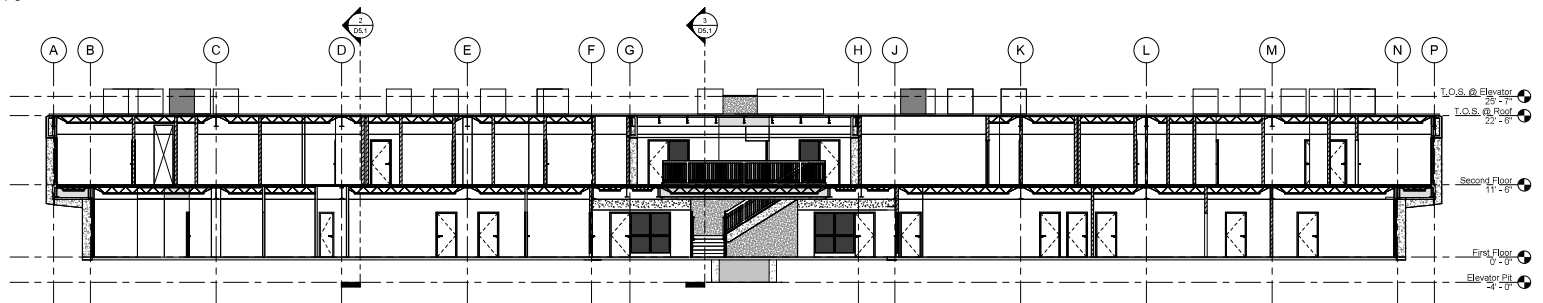
4 Longitudinal Section @ Lobby (Existing)
SCALE: 1/4" = 1'-0"



3 Transverse Section @ Lobby (Existing)
SCALE: 1/4" = 1'-0"



2 Transverse Section - Overall (Existing)
SCALE: 1/4" = 1'-0"



1 Longitudinal Section - Overall (Existing)
SCALE: 1/8" = 1'-0"

ISSUANCE SCHEDULE	
2022.07.21	Submittal
2022.07.21	Pre-Bidding
2022.07.21	Pre-Construction
2024.04.18	Bid Doc.

Drawn By: C.H.A.S.
Checked By: C.H.A.S.

AR PM 20-003

BID DOCUMENTS



D5.1
EXISTING
BUILDING
SECTIONS

Sheet	REFERENCE
AN1	ARCHITECTURAL SITE PLAN
AN1-A12	FLOOR PLANS
A12-A13	ENLARGED LOBBY PLANS AND ELEVATIONS
A13-A14	ENLARGED RESTROOM PLANS AND ELEVATIONS
A14-A15	INTERIOR ELEVATING WORK PLANS
A15-A16	ENLARGED STAIR PLANS AND SECTIONS
A16	DOOR AND WINDOW SCHEDULES, ELEVATIONS AND DETAILS
A17	ROOF PLAN AND DETAILS
A18	BUILDING ELEVATIONS
A19	BUILDING SECTIONS AND WALL SECTIONS
A20	FRESH FLOOR PLANS AND SCHEDULES
ATX	REFLECTED CEILING PLANS
ALL	MECHANICAL PLANS AND DETAILS

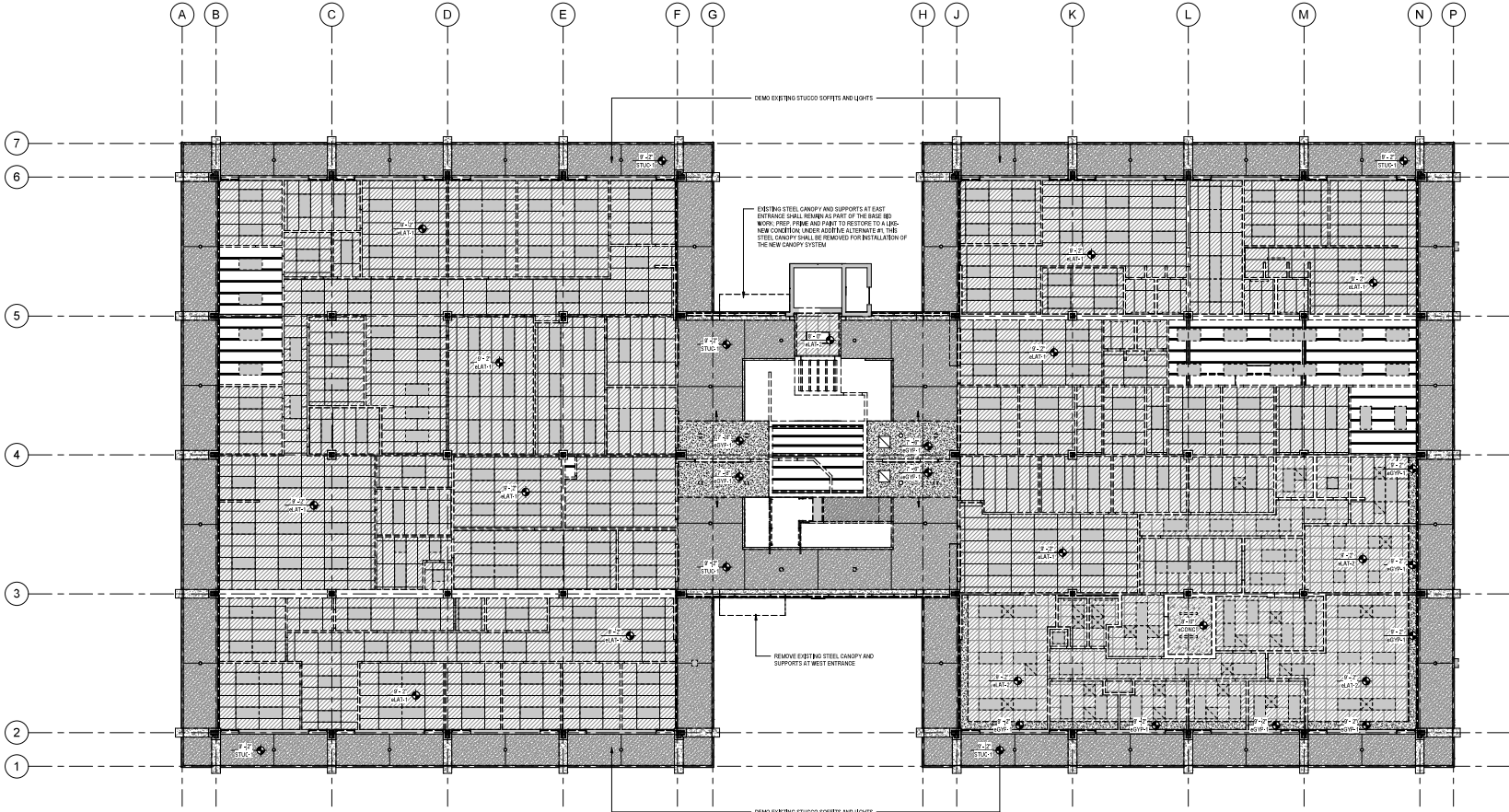
General Scope of Work

DEMOLITION EFFORTS FOR THE PROJECT INCLUDES COMPLETELY GUTTING THE INTERIOR OF THE BUILDING TO INCLUDE ALL WALLS, DOORS, WINDOWS, EXTERIOR AND INTERIOR CEILINGS, FLOOR FINISHES, LOBBY STAIRS, FIRST-FLOOR LOBBY SLAB, STUCCO SOFFITS, ELECTRICAL SYSTEMS, MECHANICAL SYSTEMS, PLUMBING SYSTEMS, ETC., ALL STRUCTURAL COMPONENTS, PRECAST CONCRETE COMPONENTS, SOffit EXTERIOR WALL FINISHES THROUGHOUT THE FIRST FLOOR BRIGGS AND THE SECOND-FLOOR LOBBY FLOOR. THE INSTALLATIONS ARE TO REMAIN AND BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION. THE EXISTING ELEVATOR IS TO REMAIN AND ALL EXISTING ELEVATOR EQUIPMENT IS TO BE RELOCATED TO THE NEW ELEVATOR EQUIPMENT ROOM AS SHOWN IN THE DRAWINGS FOR EACH DISCIPLINE FOR SPECIFIC DEMOLITION REQUIREMENTS.

Demo RCP Legend

	EXISTING DRYWALL CEILING TO BE REMOVED AND DISCARDED		EXISTING CONCRETE WALL TO BE REMOVED AND DISCARDED
	EXISTING STUCCO CEILING TO BE REMOVED AND DISCARDED		EXISTING LIGHT FIXTURES TO BE REMOVED AND DISCARDED
	EXISTING SOFFIT LAT CEILING TO BE REMOVED AND DISCARDED		EXISTING HVAC DIFFUSERS TO BE REMOVED AND DISCARDED
	EXISTING SOFFIT LAT CEILING TO BE REMOVED AND DISCARDED		EXISTING HVAC RETURN TO BE REMOVED AND DISCARDED

- General Demolition Notes**
- THESE NOTES APPLY TO ALL DEMOLITION WORK FOUND WITHIN THE BID DOCUMENTS.
 - ALL STRUCTURAL STRUCTURES, ALL DIMENSIONS ARE TO BE SHOWN AND MEASURED, WHETHER INDICATED OR NOT.
 - CONTRACTOR TO CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND WITHIN THE BID DOCUMENTS AND/OR BETWEEN THE BID DOCUMENTS AND EXISTING CONDITIONS.
 - THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL THAT IS PRESENT IN ORDER TO ACCOMPLISH THE NEW WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE SUBGRADING AND SITE GRADING THAT GAS, ELECTRIC, AND WATER SYSTEMS ARE SAFELY LOCATED, MONITORED AND PROTECTED DURING DEMOLITION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING UTILITIES AND THE PROPER MEASURES TAKEN AND COORDINATED WITH THE OWNER TO PROTECT PUBLIC SAFETY. THIS SHALL INCLUDE SAFE AND CLEAR LIMITS OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE DEMOLITION WORK AREA SAFE BY CHECKING AND BRACING THE BUILDING IF REQUIRED DURING DEMOLITION AND CEILING REMOVAL. THE ARCHITECT SHALL BE CONTACTED WHENEVER UNUSUAL CONDITIONS EXIST.
 - BY THE COURSE OF DEMOLITION A COMPLETE LISTING AS TO WHAT IS TO BE REMOVED CONTACT THE ARCHITECT FOR ON-SITE CLARIFICATION BEFORE PROCEEDING.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGED MATERIALS THAT ARE TO BE REUSED AND SHALL NEATLY STORE THEM IN A DRY WEATHER PROOF AREA ON SITE. ALL ITEMS TO BE STORED AS APPROVED BY ARCHITECT. CLEAN ALL SALVAGE ITEMS THOROUGHLY BEFORE STORING.
 - SEE REF. DRAWINGS AND SPECIFICATIONS FOR TRADE SPECIFIC DEMOLITION.
 - IF ANY PART OF THE BID TO REMAIN OR BE REUSED IN THE PROJECT IS DAMAGED, ALL EXPENSES INCURRED IN REPAIRING ANY DAMAGED ITEMS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL REPLACEMENT REPRODUCTIONS SHALL BE APPROVED BY THE ARCHITECT FOR ACCEPTANCE.
 - SOILS, THE BUILDING HAS BEEN TESTED FOR ASBESTOS AND LEAD PAINT. THE REPORTS AND REMEDIATION PROCEDURES ARE INCLUDED IN THE SPECIFICATIONS.



First Floor RCP - Existing + Demolition
SCALE: 1/8" = 1'-0"

SHEET	REFERENCES
A11	ARCHITECTURAL SITE PLAN
A11-A12	FLOOR PLANS
A12-A13	ENLARGED LOBBY PLANS AND ELEVATIONS
A13-A14	ENLARGED RESTROOM PLANS AND ELEVATIONS
A14-A15	INTERIOR ELEVATIONS AND DETAILS
A15	ENLARGED STAIR PLANS AND SECTIONS
A16	DOOR AND WINDOW SCHEDULES, ELEVATIONS AND DETAILS
A17	ROOF PLAN AND DETAILS
A18	BUILDING ELEVATIONS
A19	BUILDING SECTIONS AND WALL SECTIONS
A20	FRESH-FLOOR PLANS AND SCHEDULES
A21	REFLECTED CEILING PLANS
A22	MILKROOM PLANS AND DETAILS

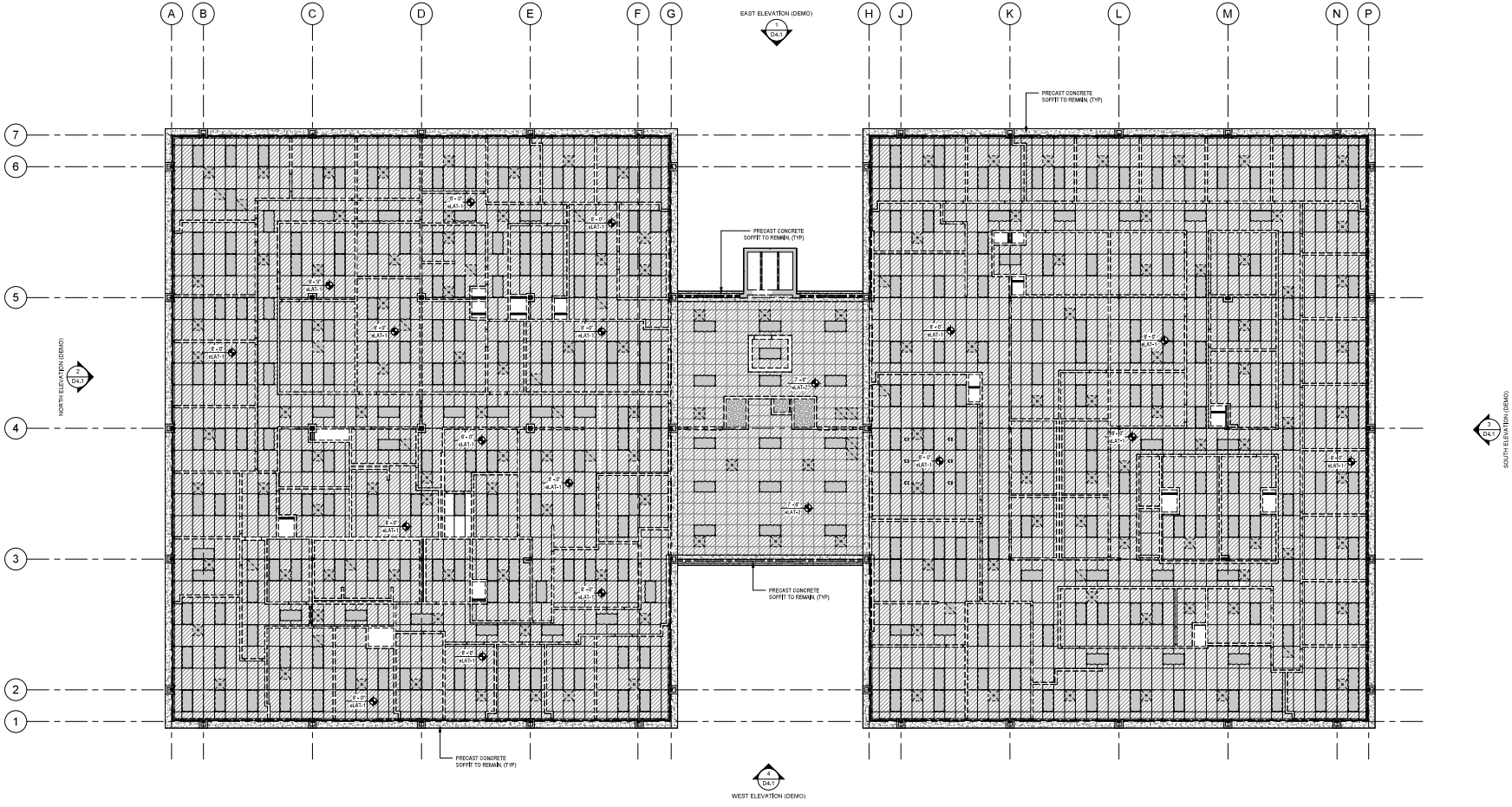
General Scope of Work

DEMOLITION EFFORTS FOR THE PROJECT INCLUDES COMPLETELY GUTTING THE INTERIOR OF THE BUILDING TO INCLUDE ALL WALLS, DOORS, WINDOWS, EXTERIOR AND INTERIOR CEILINGS, FLOOR FINISHES, LOBBY STAIRS, FIRST-FLOOR LOBBY SLAB, STUCCO, GYPSUM, ELECTRICAL SYSTEMS, MECHANICAL SYSTEMS, PLUMBING SYSTEMS, ETC., ALL STRUCTURAL COMPONENTS, PRECAST CONCRETE COMPONENTS, SOffit EXTERIOR WALL FINISHES THROUGHOUT THE FIRST FLOOR BRIGGS AND SECOND-FLOOR LOBBY FLOOR. THE INSTALLATIONS ARE TO REMAIN AND BE PROTECTED THROUGHOUT THE DEMOLITION CONSTRUCTION. THE EXISTING ELEVATOR IS TO REMAIN AND ALL EXISTING ELEVATOR EQUIPMENT IS TO BE RELOCATED TO THE NEW ELEVATOR EQUIPMENT ROOM AS SHOWN IN THE DRAWINGS FOR EACH ELEVATOR FOR SPECIFIC DEMOLITION REQUIREMENTS.

Demo RCP Legend

	EXISTING DRYWALL CEILING TO BE REMOVED AND DECARDED		EXISTING CONCRETE WALL TO BE REMOVED AND DECARDED
	EXISTING STUCCO CEILING TO BE REMOVED AND DECARDED		EXISTING LIGHT FIXTURES TO BE REMOVED AND DECARDED
	EXISTING DRYWALL CEILING TO BE REMOVED AND DECARDED		EXISTING HVAC DIFFUSERS TO BE REMOVED AND DECARDED
	EXISTING DRYWALL CEILING TO BE REMOVED AND DECARDED		EXISTING HVAC RETURN TO BE REMOVED AND DECARDED

- General Demolition Notes**
1. THESE NOTES APPLY TO ALL DEMOLITION WORK FOUND WITHIN THE BID DOCUMENTS.
 2. AS THESE ARE EXISTING STRUCTURES, ALL DEMOLITION WORK IS TO BE DEMOLISHED AS SHOWN.
 3. CONTRACTOR TO CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND WITHIN THE BID DOCUMENTS AND/OR BETWEEN THE BID DOCUMENTS AND EXISTING CONDITIONS.
 4. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL THAT IS REQUIRED IN ORDER TO ACCOMPLISH THE NEW WORK.
 5. THE CONTRACTOR IS RESPONSIBLE FOR THE SUBGRADING AND THE SUBSURFACE SITE, GRADE, THAT GAS, ELECTRIC, AND WATER SYSTEMS ARE SAFELY LOCATED, MONITORED AND PROTECTED DURING DEMOLITION.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND PROTECT ALL EXISTING AND NEW WORK AND COORDINATE WITH THE OWNER TO PROTECT PUBLIC SAFETY. THIS SHALL INCLUDE SAFE AND CLEAR LIMITS OF CONSTRUCTION.
 7. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE DEMOLITION WORK AREA SAFE BY CHECKING AND BRACING THE BUILDING IF REQUIRED DURING DEMOLITION AND OTHER REMOVAL. THE ARCHITECT SHALL BE CONTACTED WHENEVER UNCLAR CONCRECTIONS EXIST.
 8. BY THE COURSE OF DEMOLITION A CONTRACTOR SHALL BE TO BE REMOVED CONTACT THE ARCHITECT FOR ON-SITE DEMONSTRATION BEFORE PROCEEDING.
 9. THE CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGED MATERIALS THAT ARE TO BE REUSED AND SHALL NEATLY STORE THEM IN A DRY WEATHER PROOF AREA ON-SITE. ALL ITEMS TO BE STORED AS APPROVED BY ARCHITECT. CLEAN ALL SALVAGE ITEMS THOROUGHLY BEFORE STORING.
 10. SEE THE DRAWINGS AND SPECIFICATIONS FOR TRADE SPECIFIC DEMOLITION.
 11. IF ANY PART OF THE BID TO REMAIN OR BE REUSED IN THE PROJECT IS DAMAGED, ALL EXPENSES INCURRED IN REPAIRING ANY DAMAGED ITEMS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL REPLACEMENT REPRODUCTIONS SHALL BE APPROVED BY THE ARCHITECT FOR ACCURACY.
 12. ALL THE BUILDING HAS BEEN TESTED FOR ASBESTOS AND LEAD PAINT. THE REPORTS AND REMEDIATION PROCEDURES ARE INCLUDED IN THE SPECIFICATIONS.



Second Floor RCP - Existing + Demolition
SCALE: 1/8" = 1'-0"

PLANTING (LANDSCAPING) NOTES

- PLANTING (LANDSCAPING) CONSTRUCTION DOCUMENTS**
- THESE PLANTING (LANDSCAPING) CONSTRUCTION DOCUMENTS ARE PROVIDED FOR BIDDING PURPOSES ONLY. FINAL SELECTION AND LAYOUT OF PLANTINGS SHALL BE PROVIDED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER AND ARCHITECT FOR REVIEW AND APPROVAL BEFORE ANY MATERIALS ARE PURCHASED.
 - THE CONTRACTOR SHALL SUBMIT PLANTING SHOP DRAWINGS VOUCHING THE LANDSCAPE DRAWING SCALES PROVIDED IN THESE DRAWINGS. THE PLANTING SHOP DRAWINGS SHALL INDICATE THE FINAL SELECTION OF PLANTINGS AND LAYOUT ON PLANTINGS AS DETERMINED WITH THE OWNER AFTER AWARD OF THE CONSTRUCTION CONTRACT.
 - PROVIDE AND INSTALL TREES, SHRUBS, GROUNDCOVER, SEEDS, SPRINGS, AND SOIL AS SHOWN. ALL PLANT MATERIAL SHALL MEET OR EXCEED STATE STANDARDS SET FORTH IN AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z603-1996. MATERIAL SHALL CONFORM TO STATE AND FEDERAL REQUIREMENTS FOR INSET AND DISEASE CONTROL.
 - 4" MINIMUM DEPTH OF TOPSOIL OR DEPTH OTHERWISE INDICATED SHALL BE PROVIDED OVER ALL LANDSCAPING AREAS INCLUDING ALL GRADE SLOPES, AREAS, TREES, SHRUBS, BEDS, AND WOODS COVER AREAS. PLACE AND SPREAD TOPSOIL WHICH IS FREE OF WEEDS, SEEDS, GRASSES, CLUMPS, AND OTHER SUBSTANCES HARMFUL TO PLANT GROWTH LESS THAN 10% BY VOLUME. TOP SOIL IS TO BE PROVIDED IN THE SETBACK PAVEMENT AREAS.
 - PREPARE ALL TOPSOIL BEDS USED IN TREES AND SHRUBS PITS AND IN GROUND COVER BEDS IN THE FOLLOWING PROPORTIONS:
 - PARTS TOPSOIL AS SPECIFIED
 - PARTS SCAMPOSSID ORGANIC MATTER
 - APPLY TOPSOIL BEFORE PLACING IN BED OR PIT. PLACE AND SPREAD MINIMUM 6" DEPTH OF TOPSOIL MIX IN ALL SHRUB BEDS.
 - FINE GRADE TO PROVIDE ADEQUATE SURFACE DRAINAGE AWAY FROM BUILDINGS AND TO PREVENT FLOODING.
 - STAKE PLANT LOCATIONS FOR APPROVAL BY THE OWNER AND LANDSCAPE ARCHITECT BEFORE INSTALLATION. LOCATIONS STAKED LOCATIONS AS DIRECTED.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TREE PIT DRAINAGE. INADEQUATE DRAINAGE IS DEFINED BY THE FOLLOWING: FLOOD EMPTY TREE PIT TO LEVEL OF SURROUNDING SOIL. IF WATER FALLS TO FLOODED OUT WITHIN 24 HOURS PERIOD, DRAINAGE IS INADEQUATE.
 - REMOVE FROM SITE ANY PLANT MATERIAL WHICH TURNS BROWN OR DISCOLORS WITHIN 30 DAYS AFTER PLANTING. REPLACE IMMEDIATELY WITH APPROVED SPECIFIED MATERIAL.
 - MAINTAIN ALL PLANT MATERIAL AND LAWN AREAS UNTIL SUBSTANTIAL COMPLETION, UNLESS OTHERWISE SPECIFIED. MAINTENANCE INCLUDES WATERING, SPRINKLING, WEEDING, MULCHING, STRAIGHTENING, MOWING, FERTILIZING, ETC. AS SPECIFIED.
 - GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR.
 - NO GRAFTED MAPLES WILL BE ACCEPTED.
 - MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT.
 - ALL OVERHEAD AND LARGE SIZE TREES MUST BE OBTAINED FROM NURSERIES OR THE "APPROVED TREE NURSERY LIST". THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING QUALITY TREES THAT ARE UNIFORM WITH FULL, EVEN BRANCHING AND MEET THE SIZE SPECIFICATIONS. BRIDGED TREES AND TREES GROWN BY THE CONTRACTOR ARE NOT PERMISSIBLE.
 - CONTACT THE LANDSCAPE ARCHITECT PRIOR TO MAKING TREE PUNCHES. DISCOVER IF THERE IS ANY DOUBT ABOUT CONFORMANCE WITH THE SPECIFICATIONS. PLANT MATERIAL IS EXPECTED TO MEET THE SIZE AND BRANCH CHARACTER SPECIFICATIONS INDICATED IN THE PLANT LIST ON THIS SHEET. IN CASES WHERE THERE ARE PROBLEMS IN RESPONDING TO THE REQUIRED SIZES DUE TO AVAILABILITY, THE CONTRACTOR MUST RECEIVE APPROVAL FROM THE ARCHITECT FOR THE CHANGE IN SIZE OR VARIETY OF PLANT. WHERE CHANGES OCCUR, THE ARCHITECT RESERVES THE RIGHT TO ADJUST THE WALLS OF THE SUBSTITUTIONS.
 - PLANTING PITS ARE TO BE EXCAVATED AS INDICATED ON THE PLANTING DETAILS IN THESE CONSTRUCTION DOCUMENTS. EXCAVATION WITH AUGURED HOLES IS RECOMMENDED. ALL HOLES WILL HAVE VERTICAL SIDES AND ALLOW A MINIMUM OF 18" OF SOIL TO BE BUILT UP ON THE SIDES OF ALL TREES AND AROUND ALL SHRUBS. THE MIX SHALL CONSIST OF 1/2 NATIVE SOIL AND 1/2 TOPSOIL. PROVIDE TOPSOIL SAMPLE FOR APPROVAL.
 - THE CONTRACTOR IS TO PROVIDE DRAINAGE FOR ANY PLANTING PITS THAT DO NOT DRAIN BY DRAINING 4" DIAMETER HOLES THROUGH THE HORIZONTAL AND FILLING WITH GRAVEL. CONTRACTOR IS RESPONSIBLE FOR PROPER DRAINAGE TO ALL BEDS AND SHRUB PLANTING PITS.
 - ALL SHRUBS ARE TO BE CONSIDERED PLANTED IN A CONTINUOUS SHRUB BED EVEN THOUGH THE SHRUBS ARE PLANTED IN INDIVIDUAL HOLES. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING GRASS FROM THE SHRUB BED AREAS BY FIRST SPRINKLING THE GRASS WITH HERBICIDE. ALLOWING SUFFICIENT TIME FOR THE APPLICATION TO BE EFFECTIVE AND THEN PHYSICALLY REMOVING THE DEAD GRASS.
 - TREE STAKING SHALL BE WITH THE ARBOR BRACE SYSTEM AND SHALL BE INCLUDED ON ALL CANOPY TREES AND UNDERSTORY TREES. NO SUBSTITUTIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGES TO EXISTING UTILITIES AS A RESULT OF THE WORK IN THIS PROJECT.
 - CONTRACTOR SHALL FINE GRADE AREAS TO BE SPRIGGED. INITIAL SPRIGS AT THE RATE OF 1,000 BUSHES PER ACRE.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
 - THE CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY PERMITS FROM ALL GOVERNMENT AGENCIES HAVING AUTHORITY OVER THIS PROJECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINAL SELECTION OF TREES AND SHRUBS TO BE PURCHASED ARE IN COMPLIANCE WITH ALL GOVERNMENT AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. IF IT IS DETERMINED AFTER THE PURCHASE OR INSTALLATION OF PLANTS AND/OR LANDSCAPING MATERIALS THAT THE PLANTS AND/OR LANDSCAPING MATERIALS ARE NOT IN COMPLIANCE WITH GOVERNMENT AUTHORITIES IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND OBLIGATION TO REPLACE SUCH PLANTS AND LANDSCAPING MATERIALS WITH NEW THAT ARE IN COMPLIANCE.

GENERAL LANDSCAPING & IRRIGATION NOTES

- VERIFY ALL UTILITY LOCATIONS IN THE FIELD BEFORE BEGINNING WORK. REPAIR TO DAMAGED UTILITIES SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- MODIFY LANDSCAPING AND IRRIGATION LAYOUTS AS REQUIRED FOR EXISTING CONDITIONS, STORM WATER INFLETS AND OTHER REVISIONS. INCLUDES SET WORK ITEMS.
- COORDINATE THE LANDSCAPING DESIGN AND INSTALLATION WITH ALL UNDERGROUND AND OVERHEAD SITE UTILITIES.
- COORDINATE THE ADJUSTMENT OF THE TOP OF GATE INLET ELEVATIONS TIED TO THE STORM DRAINAGE SYSTEM WITH THE CIVIL ENGINEER TO PROVIDE POSITIVE DRAINAGE THROUGHOUT THE SITE.
- PROVIDE LABOR, EQUIPMENT, MATERIALS, AND SERVICES NECESSARY TO COMPLETE WORK.
- ALL MATERIALS ARE SUBJECT TO APPROVAL OF THE ARCHITECT AND OWNER AT ANY TIME.

SIDEWALK AND HARDSCAPE SURFACES NOTES

- CONTRACTOR SHALL COORDINATE SLOPES, CROSS SLOPES, AND ALL OTHER COMPONENTS OF ALL HARDSCAPE SURFACES (SIDEWALKS, PATIOS, ETC.) TO COMPLY WITH ADA ACCESSIBILITY STANDARDS SUCH AS SLOPES IN ACCESSIBLE RAMP WITHOUT USE OF RAMPS.

ADDITIONAL LANDSCAPING AND IRRIGATION NOTES

- CONTRACTOR SHALL PATCH ANY EXISTING GRASED AREAS TO NOTED TO REMAIN THAT GET DAMAGED DURING THE CONSTRUCTION PERIOD.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR A PUMP AS NEEDED FOR THE IRRIGATION SYSTEM TO PERFORM AS SPECIFIED.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACTUAL SYSTEM PRESSURE AFTER THE NEW WATER MAIN IS INSTALLED. THE CONTRACTOR SHALL PROVIDE A PRESSURE GAUGE WITH THE PRESSURE READ ON LOW TESTS PERFORMED AT EXISTING CONDITIONS FOUND IN THE SURROUNDING AREA. THE SPRINKLER HEAD LOCATION INDICATED IN THE BIDDING CONDITIONS THE WATER PRESSURE IS LISTED TO BE AS FOLLOWS:
 - A. STATIC PRESSURE BETWEEN 50 AND 66 PSIG
 - B. RESIDUAL PRESSURE BETWEEN 51 AND 61 PSIG

PLANT SCHEDULE

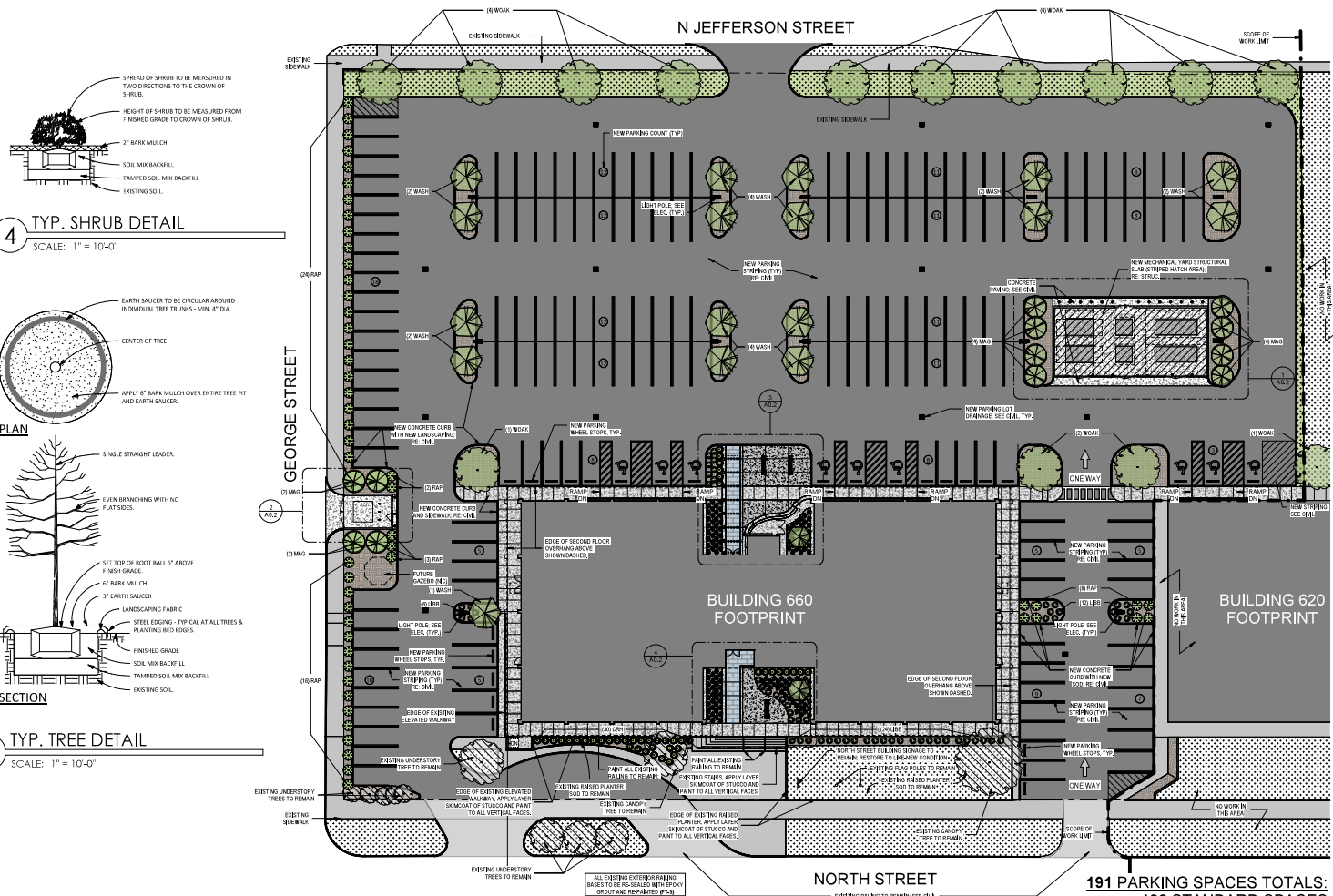
MARK	COMMON NAME	BOTANICAL NAME	VARIETY	SIZE PLANTED	SPACING	QUANTITY	SIZE MATURITY	ATTRIBUTES	ATTRIBUTES
CANOPY TREES									
W04K	WILLOW OAK	QUERCUS PHELLODES		3.5" CAL. MIN. - 12" HGT. MIN.	AS SHOWN	AS SHOWN	40"-75" HEIGHT; 25'-50' SPREAD	DECIDUOUS	FALL ORANGE/RED
UNDERSTORY TREES									
WASH	WASHINGTON HAWTHORN	CRATAEGUS PHAENODORUM	PASTIGATA	2" CAL. MIN. - 12" HGT. MIN.	AS SHOWN	AS SHOWN	25'-30" HEIGHT; 20'-30' SPREAD	DECIDUOUS	SPRING/SUMMER FLOWER
MAG	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA	LITTLE GEM	8" HGT. MIN.	AS SHOWN	AS SHOWN	15'-20' HEIGHT; 7'-10' SPREAD	DECIDUOUS	SPRING/SUMMER FLOWER
SHRUBS									
LBP	BIG BLUE LIPOPE	LIRIODYENIS	SUPER BLUE	88B - 36" HEIGHT	AS SHOWN	AS SHOWN	18'-20" HEIGHT; 18'-20" SPREAD	PERENNIAL	BLUE FLOWER
CRH	CARRISA HULLY	ILEX CORNUTA	CARRISA	7' GALLON	AS SHOWN	AS SHOWN	3'-4' HEIGHT; 3'-4' SPREAD	EVERGREEN	SPRING FLOWER, FALL PURPLE
IP	EAST IRON PLANT	ASPISTRA	ASAH	18B - 12" HEIGHT	AS SHOWN	AS SHOWN	3'-3' HEIGHT; 3'-3' SPREAD	PERENNIAL	SUMMER FLOWER
BAR	RAPIHOLIPS (INDIAN HAWTHORN)	RAPIHOLIPS INDICA	CLARA	7' GALLON - 20" SPREAD	AS SHOWN	AS SHOWN	4'-6' HEIGHT; 4'-6' SPREAD	EVERGREEN	SPRING FLOWER, FALL PURPLE
GRASS									
	419 BERMUDA SOG								
MISCELLANEOUS									
MULCH	SHREDED HARDWOOD MULCH - DEPTH 5"				PROVIDE AT ALL GROUND COVER BEDS, LANDSCAPE BEDS, SHRUBS, TREES AND ALL OTHER NOTED LOCATIONS				
EDGING	HEAVY GAUGE STEEL WITH INTERLOCKING METAL STAKE SYSTEM				PROVIDE AT ALL LANDSCAPE BEDS AND ALL OTHER NOTED LOCATIONS. CLARIFICATION: INDIVIDUAL TREE AND SHRUB PLANTINGS SHALL NOT BE PROVIDED WITH EDGING.				

Site Plan - Notes

- SEE CIVIL DRAWINGS FOR LOCATIONS OF CURB & GUTTERS.
- SEE CIVIL DRAWINGS FOR NEW SIDEWALKS & SETBACKS.
- SEE CIVIL DRAWINGS FOR SIDEWALK & CONCRETE PAVEMENT LAYOUTS & DETAILS.
- SEE ELECTRICAL DRAWINGS FOR SITE-WITHIN ELECTRICAL CLOSET WORK.
- SEE SHEET A1.1 AND A1.2 FOR RENOVATION FLOOR PLANS.

Site Plan - Legend

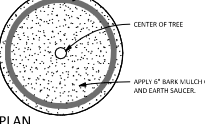
- AREA OF NEW CONCRETE SIDEWALK
- AREA OF NEW CONCRETE PAVING
- AREA OF EXISTING CONCRETE SIDEWALK
- AREA OF NEW PAVING LOT
- NEW SOG AREAS
- EXISTING SOG AREAS TO REMAIN
- NEW MULCH AREAS
- NEW MECHANICAL OR ELECTRICAL EQUIPMENT RE-MECHANICAL AND ELECTRICAL DRAWINGS
- SITE LINES



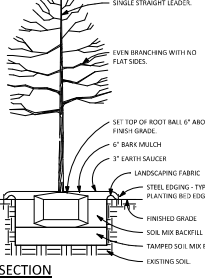
4 TYP. SHRUB DETAIL

SCALE: 1" = 10'-0"

PLAN



SECTION



3 TYP. TREE DETAIL

SCALE: 1" = 10'-0"

Architectural Site Plan

SCALE: 1" = 20'-0"

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Office of Capitol Facilities | Department of Finance and Administration

GS# 385-001 BUILDING RENOVATIONS - 660 NORTH STREET

JACKSON, MISSISSIPPI

IRRESISTIBLE SCHEDULE

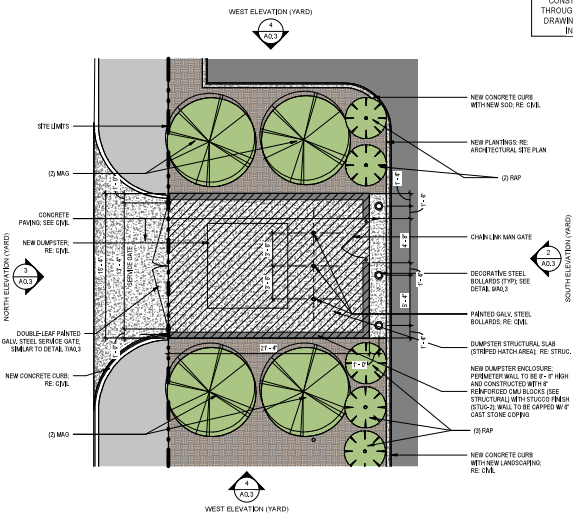
Drawn By: C.F.H.A.S.
 Checked By: C.F.H.A.S.

APR 2023
 2023.04.10
 2023.04.10
 2023.04.10

APR 2023

BID DOCUMENTS

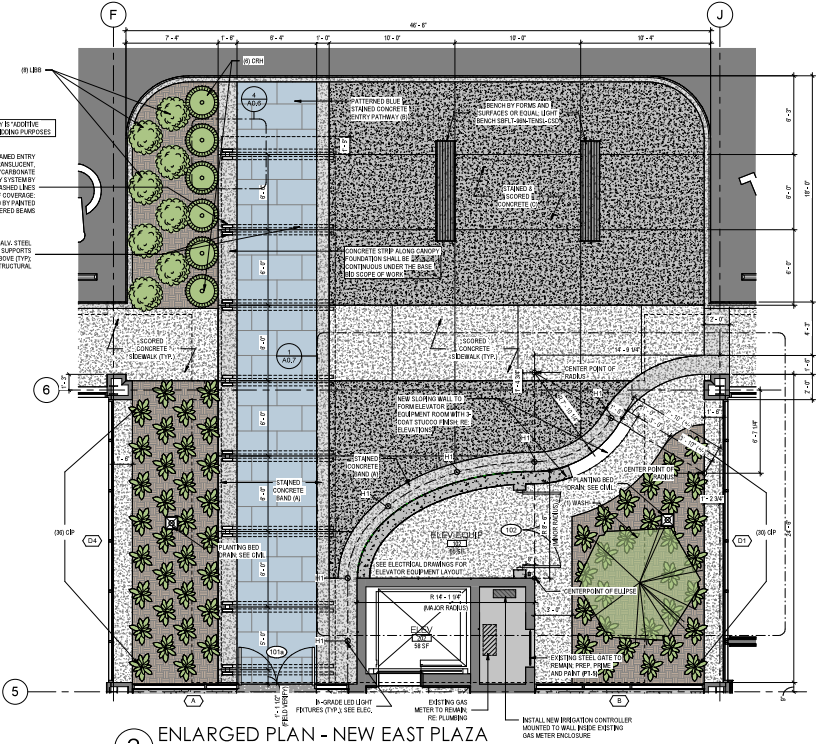
A0.1 ARCHITECTURAL SITE PLAN



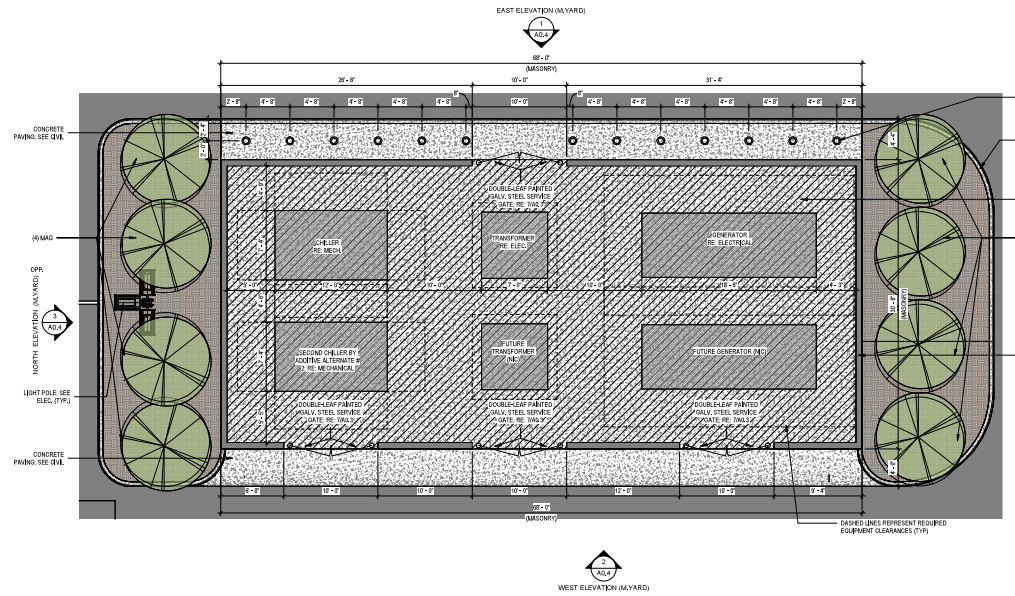
2 Dumpster Yard Enlarged Plan
SCALE: 3/16" = 1'-0"

ADDITIONAL ALTERNATE #1

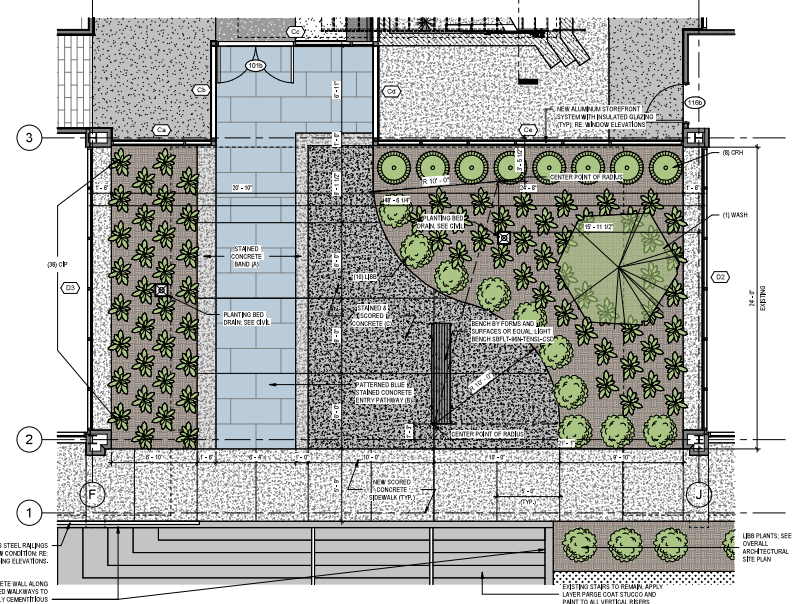
PROVIDE ALL MATERIALS AND LABOR ASSOCIATED WITH THE CONSTRUCTION OF THE ALUMINUM ENTRY CANOPY AS DESCRIBED THROUGHOUT THESE DRAWINGS. SEE STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL WORK ASSOCIATED WITH THE CANOPY, INCLUDING FOUNDATION AND LIGHTING INSTALLATIONS.



3 ENLARGED PLAN - NEW EAST PLAZA
SCALE: 1/4" = 1'-0"



1 Mechanical Courtyard Enlarged Plan
SCALE: 3/16" = 1'-0"



4 ENLARGED PLAN - NEW WEST PLAZA
SCALE: 1/4" = 1'-0"



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Office of Capitol Facilities | Department of Finance and Administration
G#S# 385-001 BUILDING RENOVATIONS - 660 NORTH STREET
JACKSON, MISSISSIPPI

PERFORMANCE SCHEDULE	
2022.01.21	Final Contract
2022.01.21	Final Contract
2022.01.21	Final Contract

Drawn By: C.F.H.S.
Checked By: C.H.S.

AR P100-2003
BID DOCUMENTS



A0.2
ENLARGED SITE PLANS

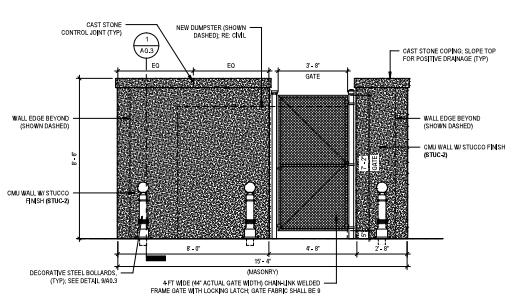
ISSUANCE SCHEDULE	
DATE	DESCRIPTION
2023.07.20	Final Drawing
2023.06.15	Pre-Bidding
2023.06.15	Bid Doc.

Drawn By: C.P.H.S.
Checked By: C.P.H.S.

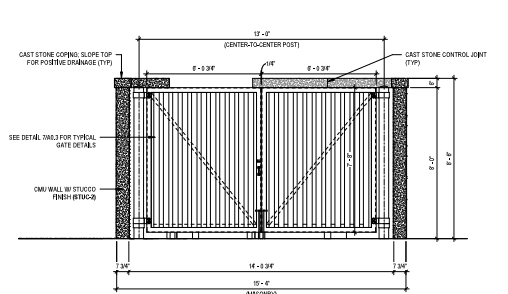
AR PM 2003
BID DOCUMENTS



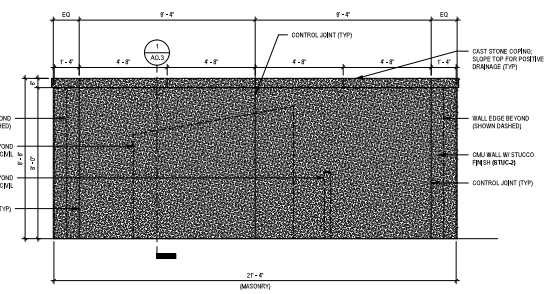
A0.3
DUMPSTER YARD ELEVATIONS AND DETAILS



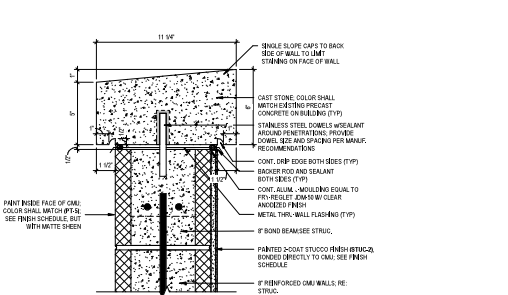
2 Dumpster Yard Enclosure - South Elevation
SCALE: 3/8" = 1'-0"



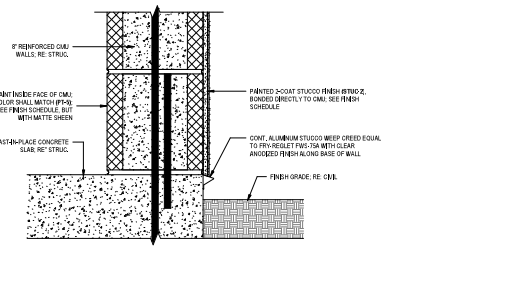
3 Dumpster Yard Enclosure - North Elevation
SCALE: 3/8" = 1'-0"



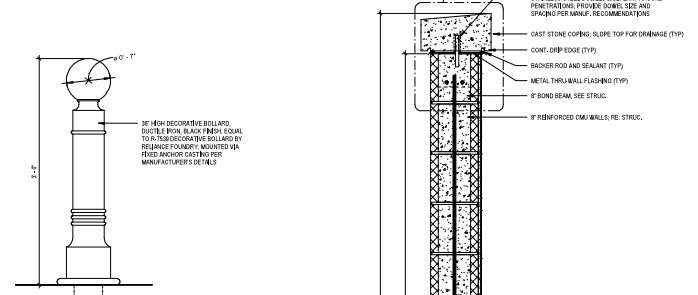
4 Dumpster Yard Enclosure - West Elevation
SCALE: 3/8" = 1'-0"



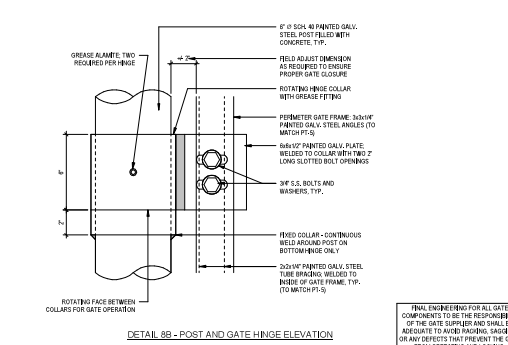
5 Typ Coping Detail
SCALE: 3" = 1'-0"



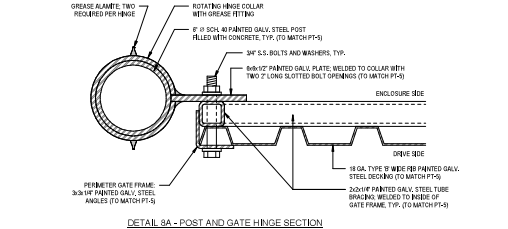
6 Typ Stucco Finish Base Detail
SCALE: 3" = 1'-0"



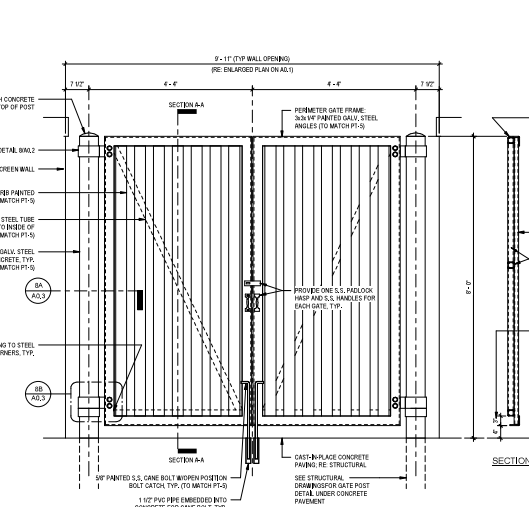
9 Surface Mounted Steel Bollard
SCALE: 1 1/2" = 1'-0"



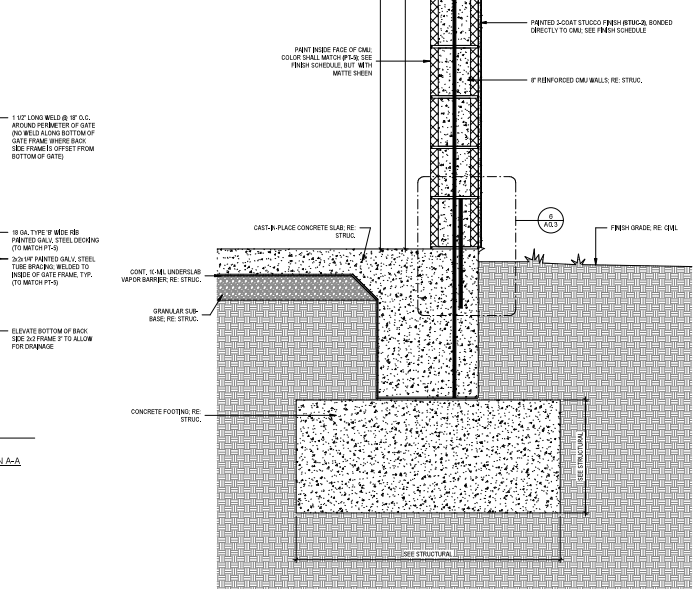
DETAIL BB - POST AND GATE HINGE ELEVATION



DETAIL BA - POST AND GATE HINGE SECTION



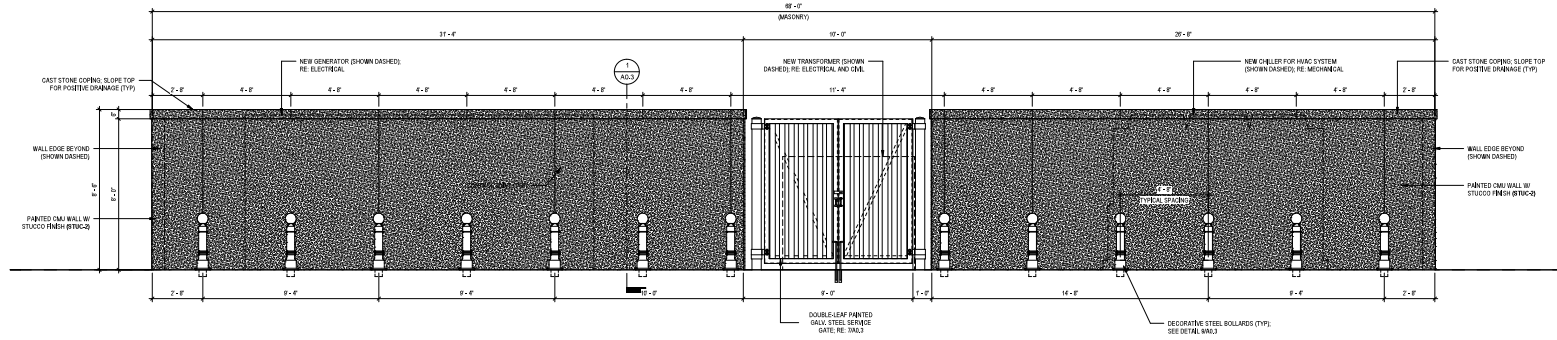
7 Typ Service Gates Elevation & Section
SCALE: 3/4" = 1'-0"



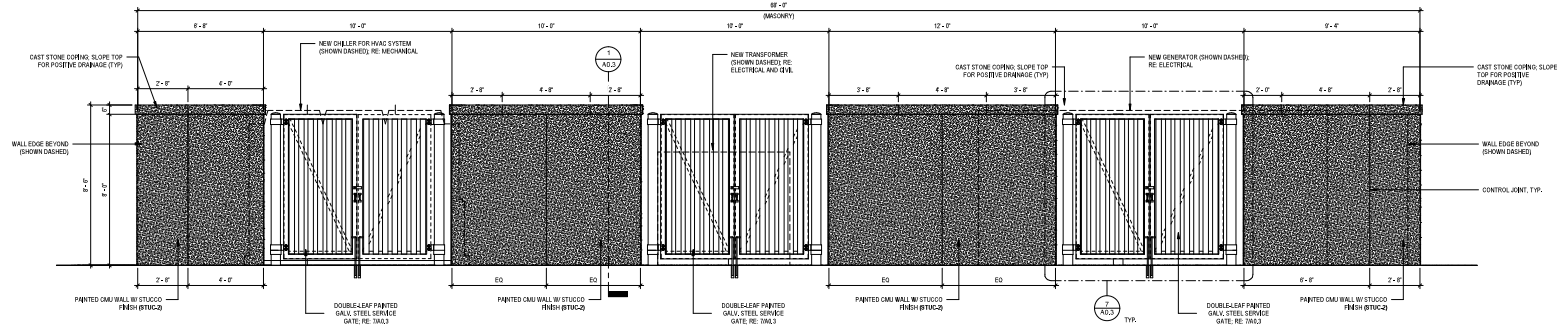
1 Mechanical Yard Enclosure - Typical Wall Section
SCALE: 1 1/2" = 1'-0"

NOTES:
1. CONTRACTOR TO VERIFY DIMENSIONS AND FABRICATION PROCESSES AS REQUIRED TO ENSURE GATES OPERATE AND CLOSE PROPERLY.
2. ALL STEEL COMPONENTS SHALL BE GALVANNEED, PRIMED, AND PAINTED.
3. ALL FASTENERS AND OPERATING HARDWARE SHALL BE STAINLESS STEEL (S.S.).
4. SEE CML FOR ADDITIONAL INFORMATION INCLUDING SEE DETAIL NOT SHOWN ON ARCHITECTURAL PLANS.
5. CONTRACTOR TO CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND BETWEEN ARCHITECTURAL, STRUCTURAL, AND CML DRAWINGS.

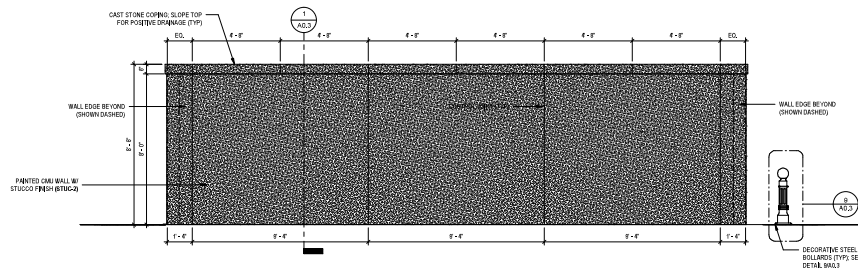
NOTE: THE ENGINEER FOR ALL GATE COMPONENTS TO BE THE RESPONSIBILITY OF THE GATE SUPPLIER AND SHALL BE NEGLIGENT TO AVOID HANGING, SAGGING, OR ANY DEFECTS THAT PREVENT THE GATE FROM OPERATING AND CLOSING.



1 Mechanical Yard Enclosure - East Elevation
SCALE: 3/8" = 1'-0"



2 Mechanical Yard Enclosure - West Elevation
SCALE: 3/8" = 1'-0"



3 Mechanical Yard Enclosure - South Elevation
SCALE: 3/8" = 1'-0"

RESURANCE SCHEDULE

2022.01.21	2022.01.21	2022.01.21	2022.01.21
2022.01.21	2022.01.21	2022.01.21	2022.01.21
2022.01.21	2022.01.21	2022.01.21	2022.01.21

Drawn By: C.P.H.A.S.
Checked By: C.B.D.

AR PM 20-003

BID DOCUMENTS





1 EXTERIOR 3D RENDERING - NEW WEST ENTRANCE PLAZA
SCALE: N.T.S.



2 EXTERIOR 3D RENDERING - NEW EAST ENTRANCE PLAZA
SCALE: N.T.S.

ISSUANCE SCHEDULE	
2022.07.21	Pre-Bidding
2022.08.01	Pre-Bid Doc.
2022.08.18	Bid Doc.

Drawn By: C.H.A.S.
Checked By: G.R.P.

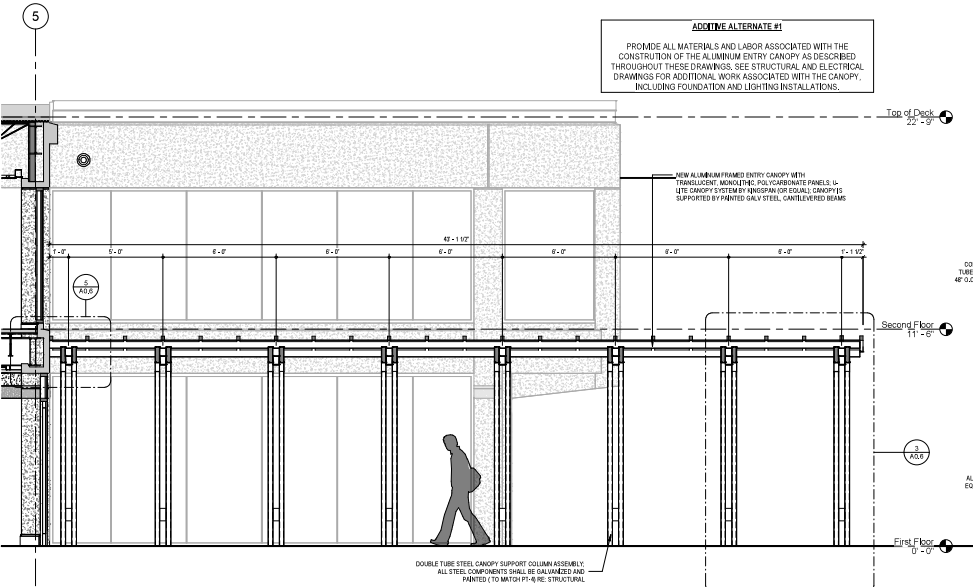
AR PM 20-003

BID DOCUMENTS

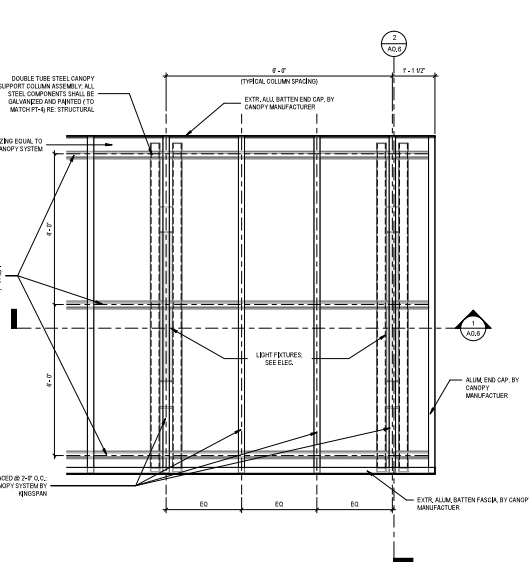


ADDITVE ALTERNATE #1

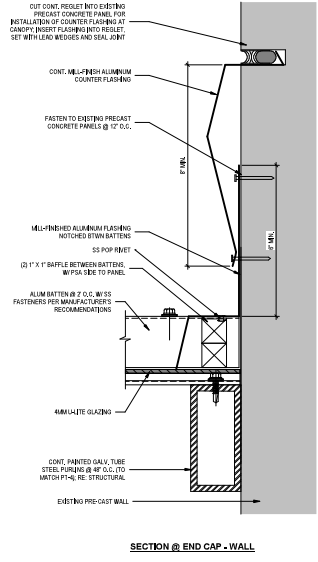
PROVIDE ALL MATERIALS AND LABOR ASSOCIATED WITH THE CONSTRUCTION OF THE ALUMINUM ENTRY CANOPY AS DESCRIBED THROUGHOUT THESE DRAWINGS, SEE STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL WORK ASSOCIATED WITH THE CANOPY, INCLUDING FOUNDATION AND LIGHTING INSTALLATIONS.



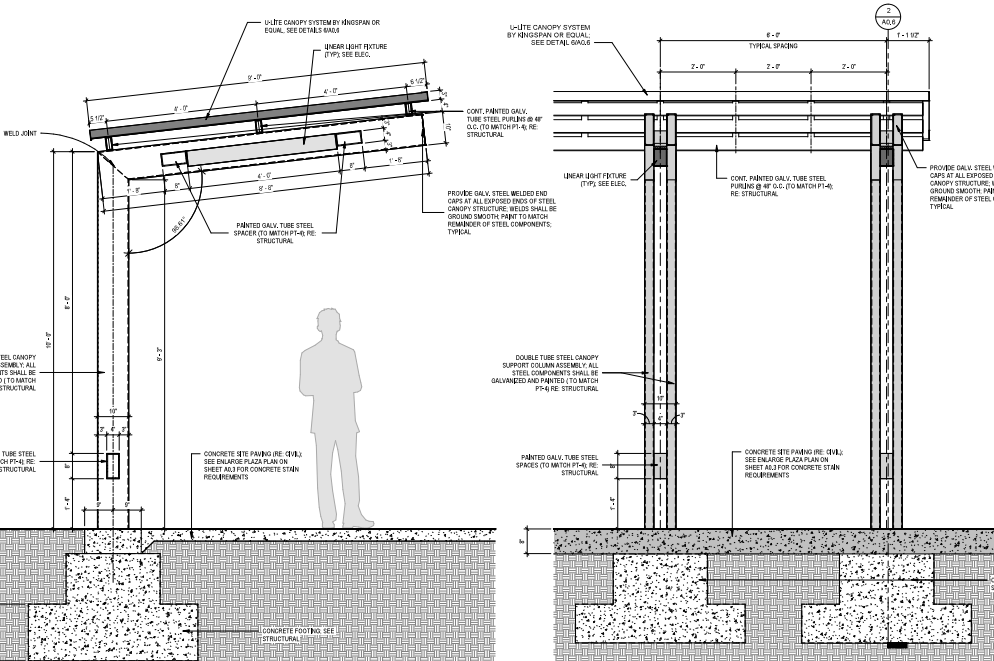
1 SECTION @ COVERED CANOPY
 SCALE: 3/8" = 1'-0"



7 DETAIL - CANOPY PARTIAL ROOF PLAN
 SCALE: 3/4" = 1'-0"

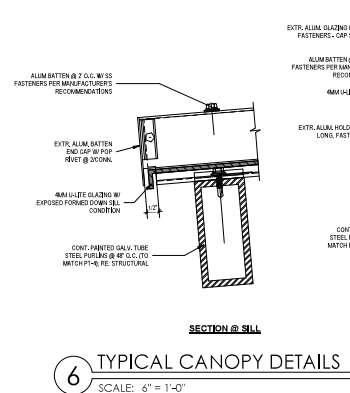


8 DETAIL - CANOPY END CAP @ WALL
 SCALE: 6" = 1'-0"

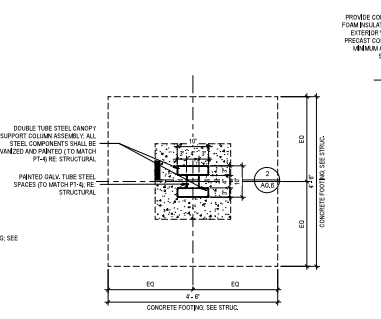


2 DETAIL - COVERED CANOPY SECTION (TYP.)
 SCALE: 3/4" = 1'-0"

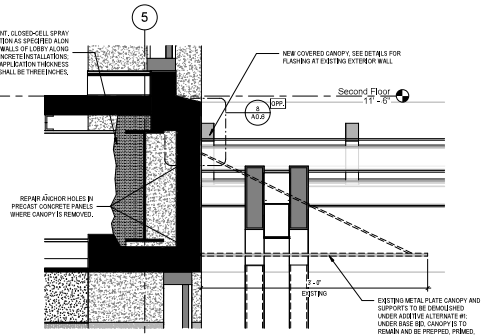
3 DETAIL - COVERED CANOPY ELEVATION
 SCALE: 3/4" = 1'-0"



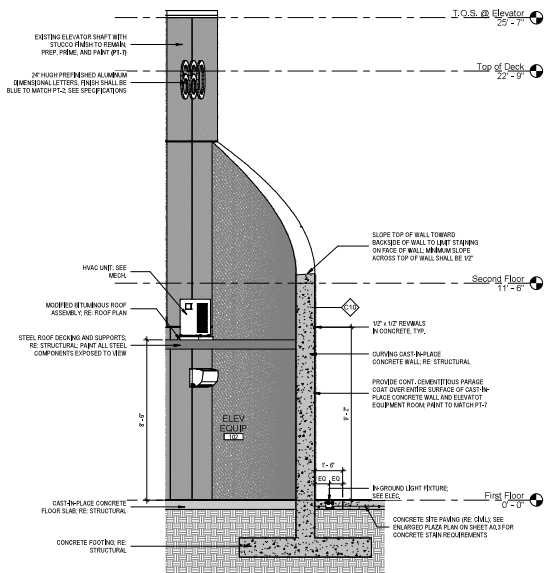
6 TYPICAL CANOPY DETAILS
 SCALE: 6" = 1'-0"



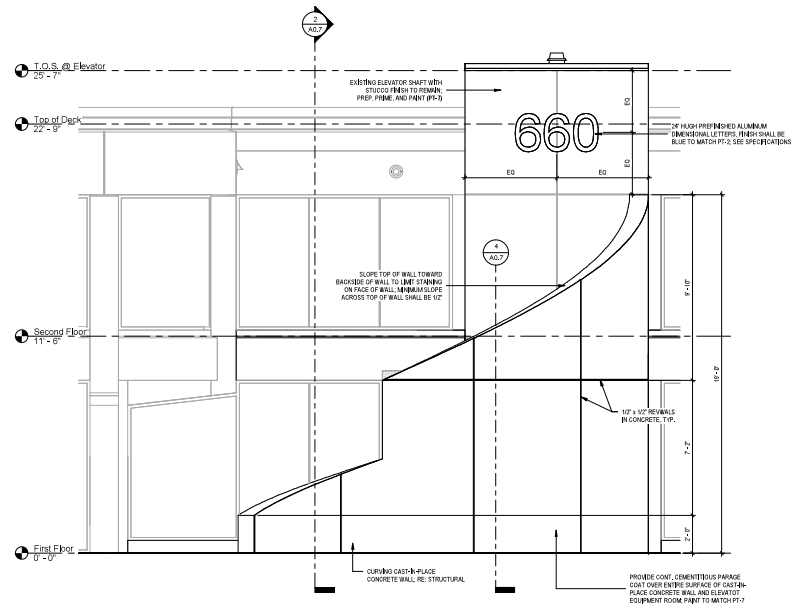
4 DETAIL - STEEL COLUMN PLAN
 SCALE: 3/4" = 1'-0"



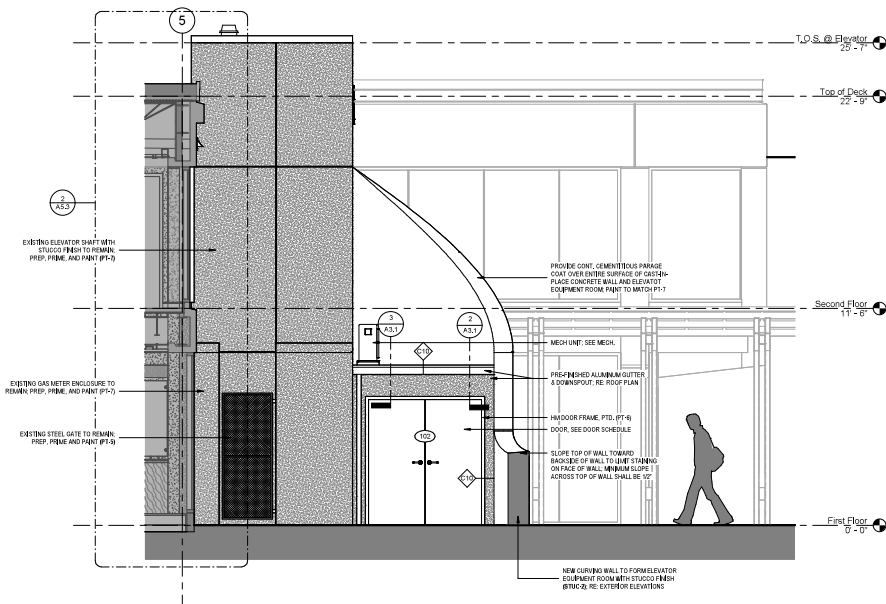
5 DETAIL - CANOPY @ EXIST. PRECAST
 SCALE: 1 1/2" = 1'-0"



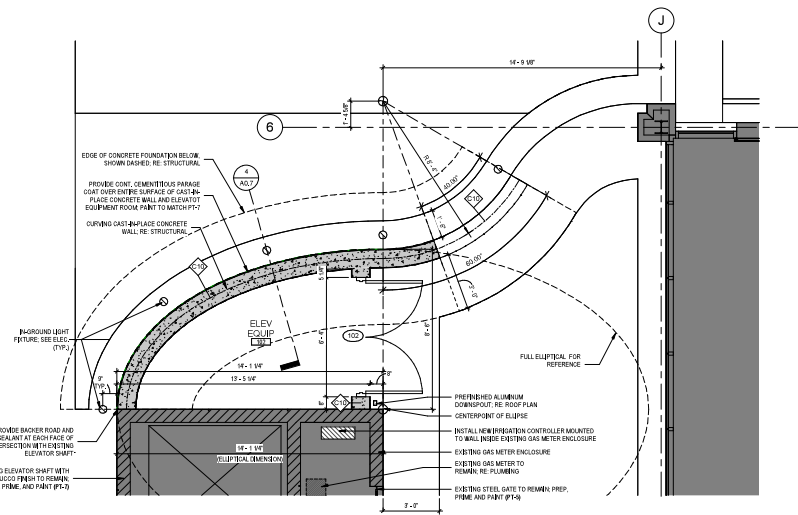
4 WALL SECTION - NEW ELEVATOR EQUIPMENT ROOM WALL
SCALE: 3/8" = 1'-0"



3 EXTERIOR ELEVATION - NEW ELEVATOR EQUIPMENT ROOM WALL
SCALE: 3/8" = 1'-0"



2 EXTERIOR ELEVATION - NEW ELEVATOR EQUIPEMNT WALL
SCALE: 3/8" = 1'-0"



1 ENLARGED PLAN - NEW ELEVATOR EQUIPMENT WALL
SCALE: 3/8" = 1'-0"

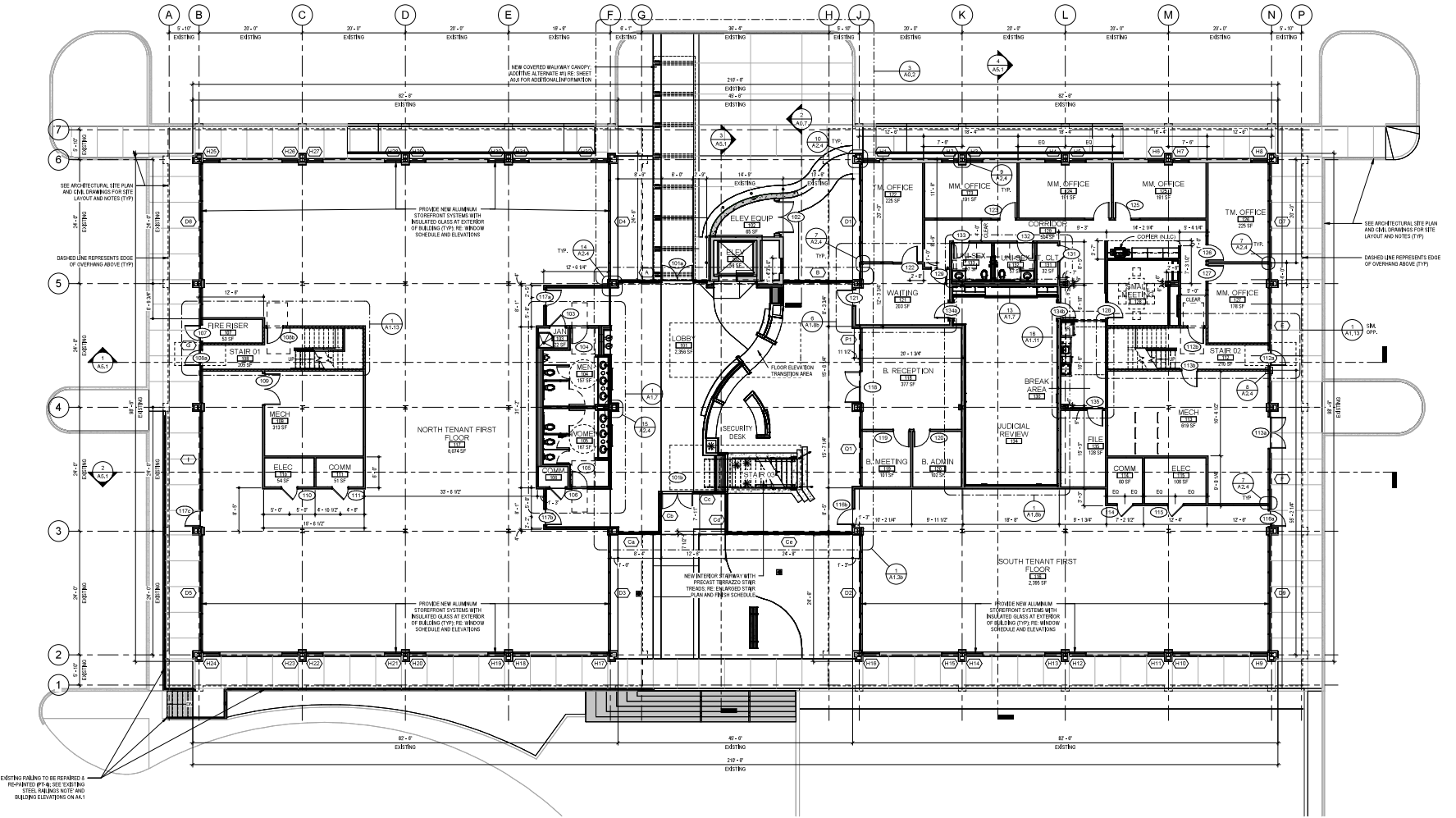
ISSUANCE SCHEDULE	
2022.07.21	Final Drawing
2022.06.19	Final Schedule
2022.06.19	Final Doc.

Drawn By: C.H.A.S.
Checked By: C.H.A.S.



Floor Plan Legend	
	DOOR REFERENCED MARK, RE DOOR SCHEDULE SHEET A11
	WINDOW MARK, RE WINDOW SCHEDULE SHEET A12
	NEW WALLS
	EXISTING WALLS
	INTERIOR PARTITION LINE TAG, SEE PARTITION SCHEDULE ON NOTED PLAN SHEET
	DOOR FINISH

- ### General Plan Notes
1. ALL DIMENSIONS ARE TO THE CENTERLINE OF WALL CONSTRUCTION UNLESS NOTED OTHERWISE.
 2. IN MASONRY WALL CONSTRUCTION DIMENSIONS ARE TO ROOM OPENINGS.
 3. IN STUD WALL CONSTRUCTION DIMENSIONS ARE TO CENTERLINE OF OPENINGS.
 4. ALL JOISTS ARE 17' FROM JOIST OF FINISH UNLESS DIMENSIONS OTHERWISE.
 5. CONTRACTOR TO VERIFY ARCHITECT DIMENSIONS. IF DISCREPANCIES ARE FOUND BETWEEN ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 6. ALL ANGLES ARE 90° OR 45° UNLESS DIMENSIONS OTHERWISE.
 7. FIRE EXTINGUISHER LOCATIONS ARE INDICATED ON THE LIFE SAFETY PLANS.
 8. ROOM OCCUPANT LOADS ARE PROVIDED ON THE LIFE SAFETY PLANS.



First Floor - Dimensioned Plan
SCALE: 1/8" = 1'-0"

FIRST FLOOR:	17,825 GSF
SECOND FLOOR:	24,800 GSF
TOTAL:	42,625 GSF

PERFORMANCE SCHEDULE	
DATE	DESCRIPTION
2022.04.21	Final Review
2022.04.21	Final Review
2024.04.18	Rev. Doc.

Drawn By: C.P.H.A.S.
Checked By: C.B.C.P.

AR PM 20003

BID DOCUMENTS



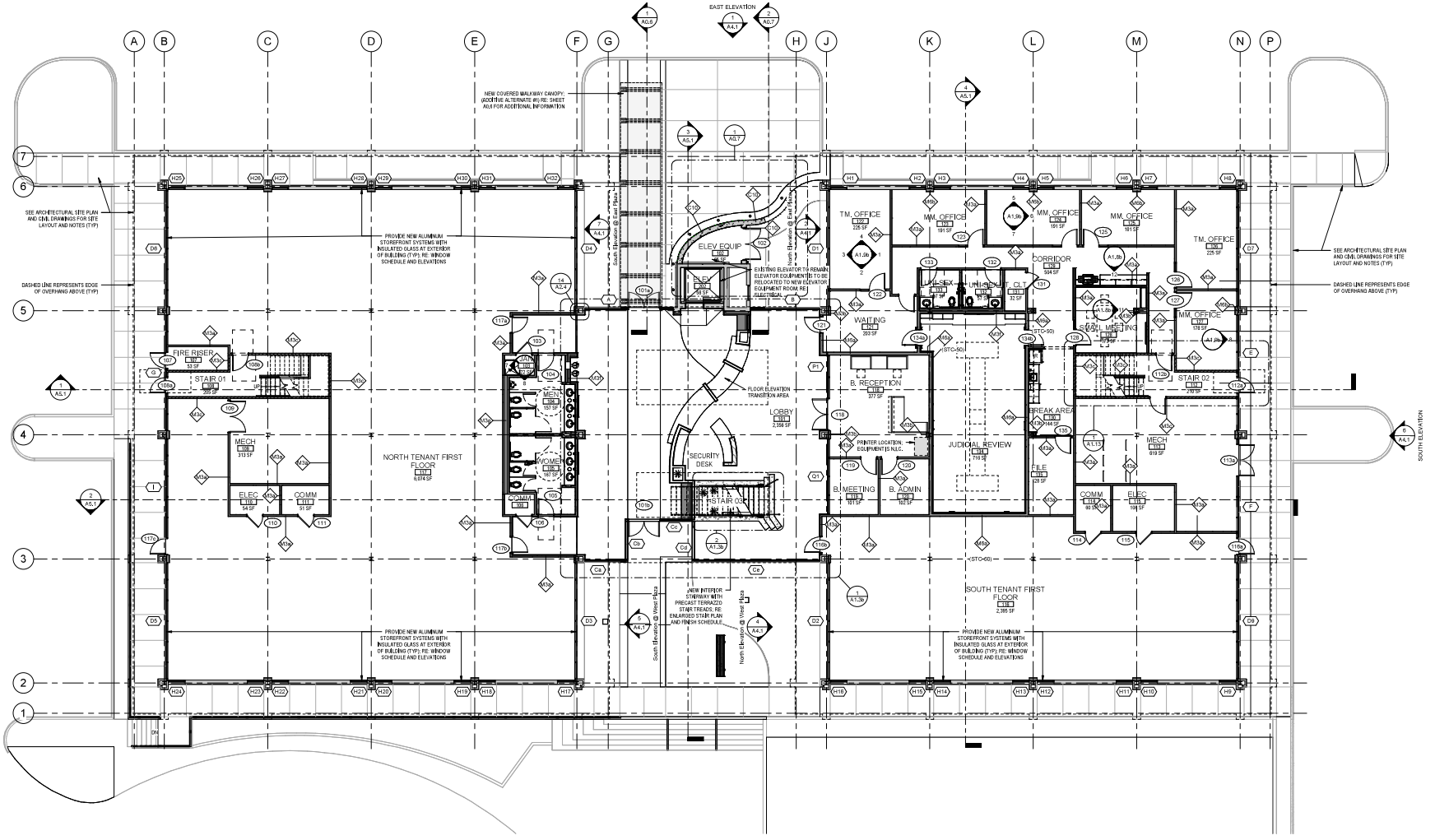
Floor Plan Legend	
	DOOR REFERENCED MARK RE DOOR SCHEDULE SHEET A1
	WINDOW MARK RE WINDOW SCHEDULE SHEET A2
	NEW WALLS
	DOOR SWING
	EXISTING WALLS
	INTERIOR PARTITION FIRE Rtg. SEE PARTITION SCHEDULE ON NOTED PLAN SHEET

- ### General Plan Notes
1. ALL DIMENSIONS ARE TO THE CENTERLINE OF WALL CONSTRUCTION UNLESS NOTED OTHERWISE.
 2. IN MASONRY WALL CONSTRUCTION DIMENSIONS ARE TO ROOM OPENINGS.
 3. IN STUD WALL CONSTRUCTION DIMENSIONS ARE TO CENTERLINE OF OPENINGS.
 4. ALL DOORS ARE 4' PROUNCE OF FINISH UNLESS OTHERWISE SPECIFIED.
 5. CONTRACTOR TO CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND BETWEEN ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 6. ALL ANGLES ARE 90° OR 45° UNLESS OTHERWISE SPECIFIED.
 7. FIRE EXTINGUISHER LOCATIONS ARE INDICATED ON THE LIFE SAFETY PLANS.
 8. ROOM OCCUPANT LOADS ARE PROVIDED ON THE LIFE SAFETY PLANS.

PARTITION SCHEDULE

	3 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.
	3 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.
	4 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.
	4 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.
	4 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.
	4 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.
	4 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.
	4 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.
	4 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.
	4 SF METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 5/8" DRY WALL BOTH SIDES. EXTEND TO METAL DECK ABOVE.

NOTE: ALL METAL STUDS SHALL BE 20-GA BRACE ALL METAL STUD WALLS ABOVE @ 48" @ 48" O.C.



First Floor - Noted Plan
SCALE: 1/8" = 1'-0"

ALBERT & ROBINSON
ARCHITECTS

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Harrisburg, MS 38401
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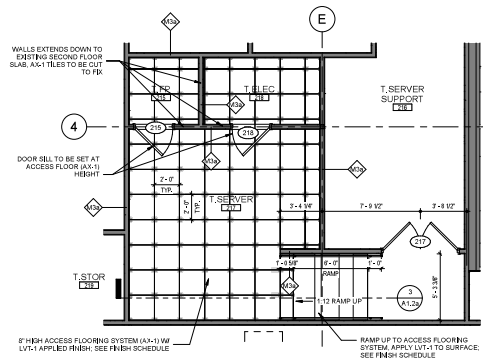
Office of Capitol Facilities | Department of Finance and Administration
GSS# 385-001 BUILDING RENOVATIONS - 660 NORTH STREET
JACKSON, MISSISSIPPI

PERFORMANCE SCHEDULE	
DATE: 05/05/2023	SCALE: 1/8" = 1'-0"
DESIGNED BY: C.F.H.A.S.	PROJECT NO: 2023-01
DRAWN BY: C.F.H.A.S.	DATE: 05/05/2023
CHECKED BY: C.F.H.A.S.	REV. NO: 01
DATE: 05/05/2023	BY: C.F.H.A.S.

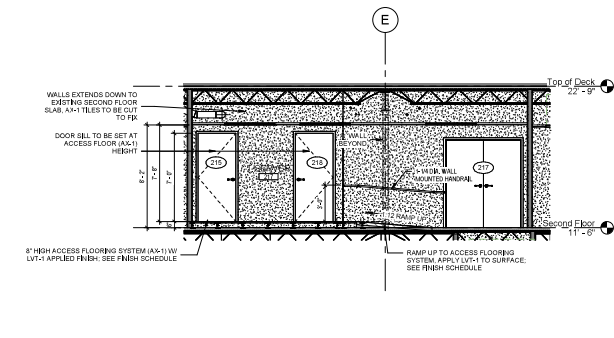
AR PM 20003

BID DOCUMENTS

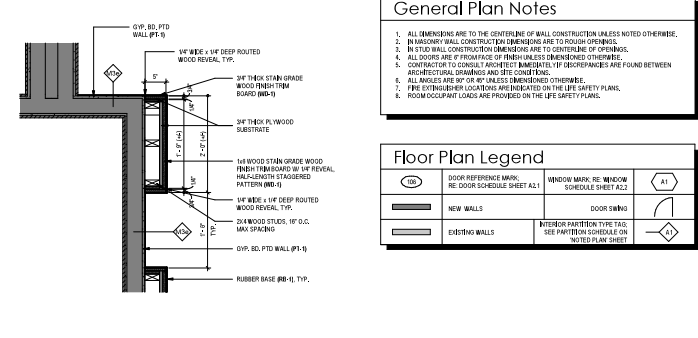
A1.1b
FIRST FLOOR - NOTED PLAN



2 ENLARGED PLAN - ACCESS FLOORING T. SERVER RM 217
SCALE: 1/4" = 1'-0"



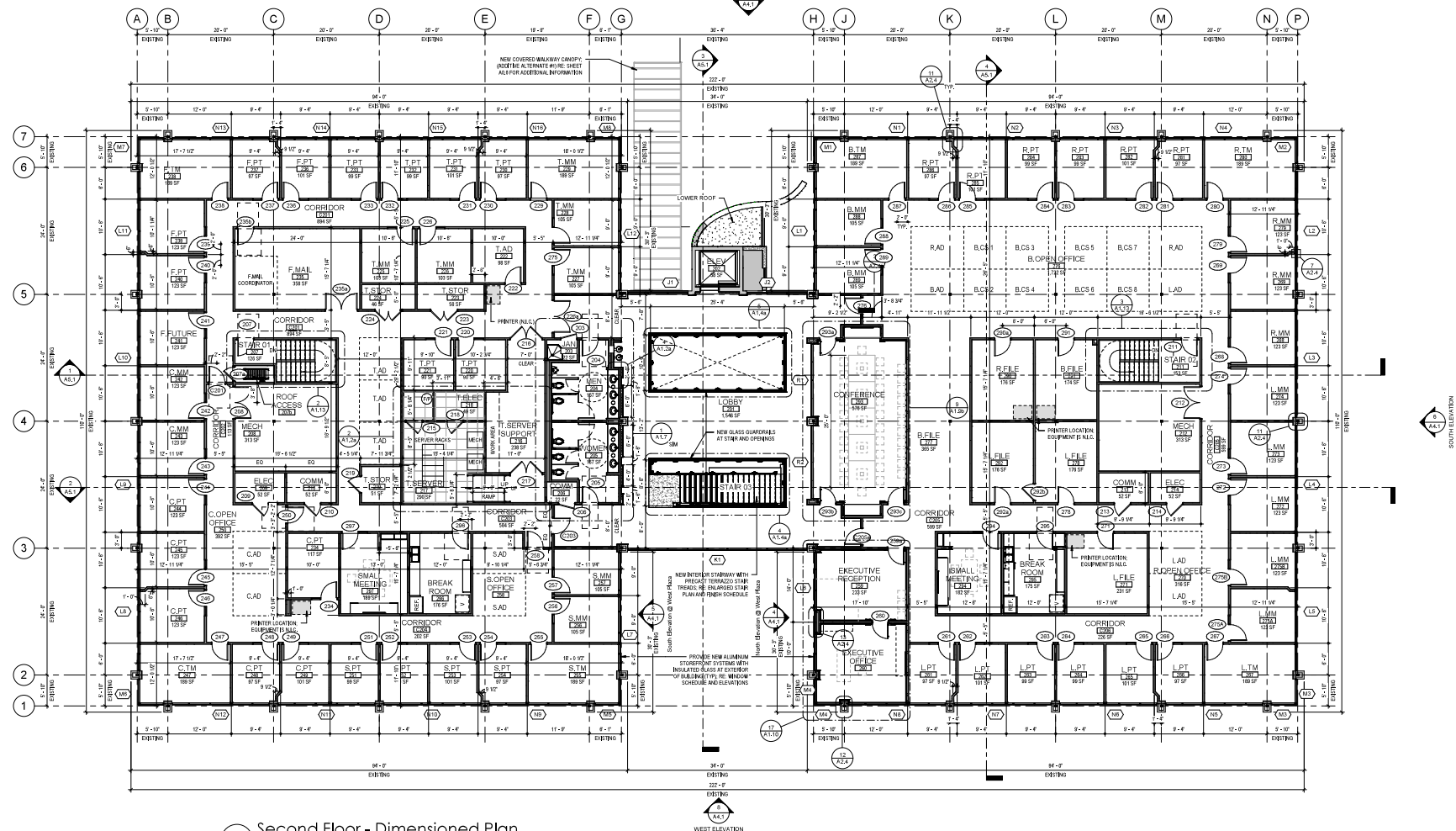
3 SECTION - ACCESS FLOORING T. SERVER RM 217
SCALE: 1/4" = 1'-0"



4 WOOD PLANK WALL PLAN DETAIL (TYP.)
SCALE: 1" = 1'-0"

General Plan Notes		
1.	ALL DIMENSIONS ARE TO THE CENTERLINE OF WALL CONSTRUCTION UNLESS NOTED OTHERWISE.	
2.	NON-CURVED WALL CONSTRUCTION DIMENSIONS ARE TO ROOM-OPENINGS.	
3.	IN STUD WALL CONSTRUCTION DIMENSIONS ARE TO CENTERLINE OF OPENINGS.	
4.	ALL DOORS ARE TO FACE UNLESS OTHERWISE NOTED.	
5.	CONTRACTOR TO CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND BETWEEN ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.	
6.	ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.	
7.	FIRE EXTINGUISHER LOCATIONS ARE INDICATED ON THE LIFE SAFETY PLANS.	
8.	ROOM OCCUPANT LOADS ARE PROVIDED ON THE LIFE SAFETY PLANS.	

Floor Plan Legend		
(Symbol)	DOOR REFERENCE MARK: RE DOOR SCHEDULE SHEET A-1	WINDOW MARK: RE WINDOW SCHEDULE SHEET A-2
(Symbol)	NEW WALLS	DOOR SWING
(Symbol)	EXISTING WALLS	INTERIOR PARTITION TYPE TAG: SEE PARTITION SCHEDULE ON SITE PLAN SHEET



Second Floor - Dimensioned Plan
SCALE: 1/8" = 1'-0"

FIRST FLOOR	17,828 GSF
SECOND FLOOR	18,828 GSF
TOTAL	36,656 GSF

Floor Plan Legend	
	DOOR REFERENCE MARK, RE DOOR SCHEDULE SHEET A-1
	WINDOW MARK, RE WINDOW SCHEDULE SHEET A-2
	NEW WALLS
	DOOR SWING
	EXISTING WALLS
	INTERIOR PARTITION FINISH TAG, SEE PARTITION SCHEDULE ON NOTED PLAN SHEET

- ### General Plan Notes
1. ALL DIMENSIONS ARE TO THE CENTERLINE OF WALL CONSTRUCTION UNLESS NOTED OTHERWISE.
 2. IN MASONRY WALL CONSTRUCTION DIMENSIONS ARE TO ROOM OPENINGS.
 3. IN STUD WALL CONSTRUCTION DIMENSIONS ARE TO CENTERLINE OF OPENINGS.
 4. ALL JOISTS ARE 17' PROVIDED BY FINISH UNLESS OTHERWISE SPECIFIED.
 5. CONTRACTOR TO CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND BETWEEN ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 6. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
 7. FIRE EXTINGUISHER LOCATIONS ARE INDICATED ON THE LIFE SAFETY PLANS.
 8. ROOM OCCUPANT LOADS ARE PROVIDED ON THE LIFE SAFETY PLANS.

PARTITION SCHEDULE

	3 SF METAL STUDS AT 16" O.C. WITH 5/8" SIP OR 5/8" BO. BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 7/8" SIP OR 1" SIP OR 1" BO. BOTH SIDES. PROVIDE 5/8" CONCRETE BACKER BOARD IN JEOLU OF SIP OR BO. IN LOCATIONS WHERE WALL TILE IS APPLIED. EXTEND TO METAL DECK ABOVE. SEE FINISH PLANS & INTERIOR ELEVATIONS FOR HEIGHT.
	3 SF METAL STUDS AT 16" O.C. WITH 5/8" SIP OR 5/8" BO. ON ONE SIDE ONLY. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 7/8" SIP OR 1" SIP OR 1" BO. BOTH SIDES. PROVIDE 5/8" CONCRETE BACKER BOARD IN JEOLU OF SIP OR BO. IN LOCATIONS WHERE WALL TILE IS APPLIED. EXTEND TO METAL DECK ABOVE. SEE FINISH PLANS & INTERIOR ELEVATIONS FOR HEIGHT.
	4-HOUR FIRE-RATED 3 SF METAL STUDS AT 16" O.C. WITH 5/8" SIP OR 5/8" BO. BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 7/8" SIP OR 1" SIP OR 1" BO. BOTH SIDES. PROVIDE 5/8" CONCRETE BACKER BOARD IN JEOLU OF SIP OR BO. IN LOCATIONS WHERE WALL TILE IS APPLIED. EXTEND TO METAL DECK ABOVE. SEE FINISH PLANS & INTERIOR ELEVATIONS FOR HEIGHT.
	1/2" METAL STUDS AT 16" O.C. WITH 5/8" SIP OR 5/8" BO. BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 7/8" SIP OR 1" SIP OR 1" BO. BOTH SIDES. PROVIDE 5/8" CONCRETE BACKER BOARD IN JEOLU OF SIP OR BO. IN LOCATIONS WHERE WALL TILE IS APPLIED. EXTEND TO METAL DECK ABOVE. SEE FINISH PLANS & INTERIOR ELEVATIONS FOR HEIGHT.
	1/2" METAL STUDS AT 16" O.C. WITH 5/8" SIP OR 5/8" BO. BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 7/8" SIP OR 1" SIP OR 1" BO. BOTH SIDES. PROVIDE 5/8" CONCRETE BACKER BOARD IN JEOLU OF SIP OR BO. IN LOCATIONS WHERE WALL TILE IS APPLIED. EXTEND TO METAL DECK ABOVE. SEE FINISH PLANS & INTERIOR ELEVATIONS FOR HEIGHT.
	1/2" METAL STUDS AT 16" O.C. WITH 5/8" SIP OR 5/8" BO. BOTH SIDES. EXTEND TO METAL DECK ABOVE.		1/2" METAL STUDS AT 16" O.C. WITH 7/8" SIP OR 1" SIP OR 1" BO. BOTH SIDES. PROVIDE 5/8" CONCRETE BACKER BOARD IN JEOLU OF SIP OR BO. IN LOCATIONS WHERE WALL TILE IS APPLIED. EXTEND TO METAL DECK ABOVE. SEE FINISH PLANS & INTERIOR ELEVATIONS FOR HEIGHT.

NOTE: ALL METAL STUDS SHALL BE 20 GA BRACE ALL METAL STUD WALLS ABOVE @ 16" O.C.



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Office of Capitol Facilities | Department of Finance and Administration
GS# 385-001 BUILDING RENOVATIONS - 660 NORTH STREET
 JACKSON, MISSISSIPPI

ISSUANCE SCHEDULE	
2022.07.20	Final Contract
2022.07.20	Final Plans
2022.06.28	Final Dec.

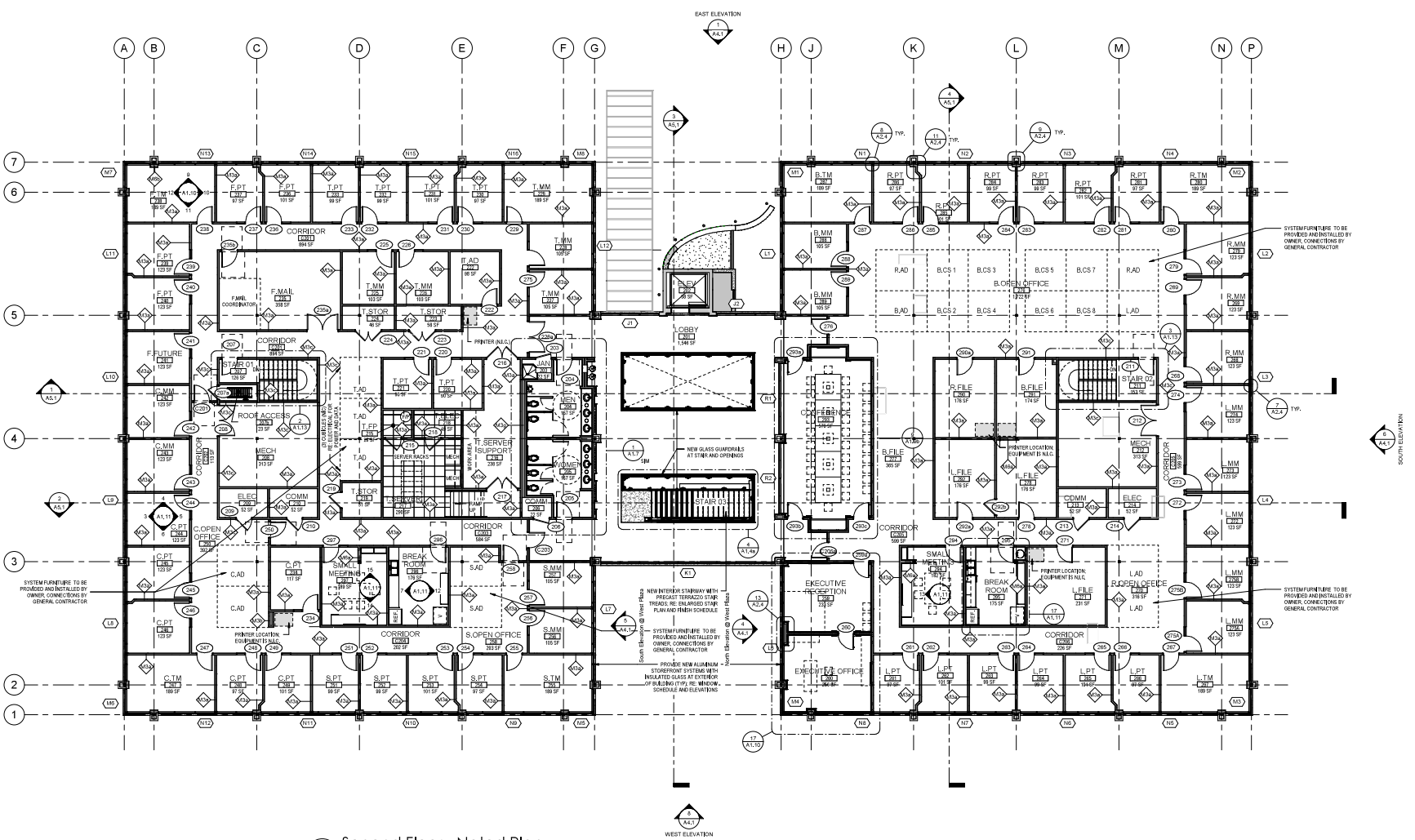
Drawn By: C.P.H.S.
 Checked By: C.B.C.

AR PM 20-003

BID DOCUMENTS



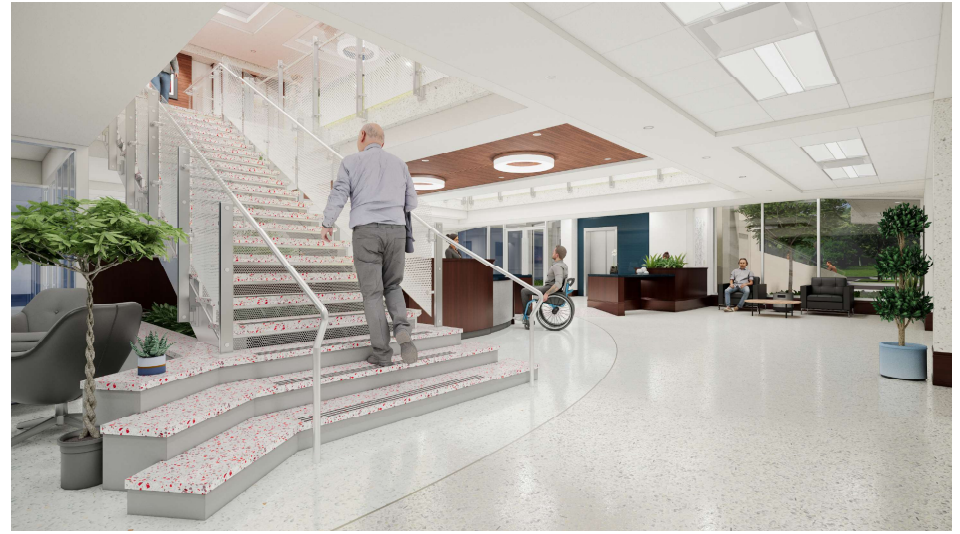
A1.2b
 SECOND FLOOR - NOTED PLAN



Second Floor - Noted Plan
 SCALE: 1/8" = 1'-0"



4 INTERIOR 3D RENDERING - LOBBY 201 VIEW 01
SCALE: N.T.S.



3 INTERIOR 3D RENDERING - LOBBY 101 VIEW 03
SCALE: N.T.S.



2 INTERIOR 3D RENDERING - LOBBY 101 VIEW 02
SCALE: N.T.S.



1 INTERIOR 3D RENDERING - LOBBY 101 VIEW 01
SCALE: N.T.S.

PERFORMANCE SCHEDULE		
2022.01.01	Pre-Design	000.00
2024.06.15	Final Design	000.00
2024.06.15	Final Doc.	000.00

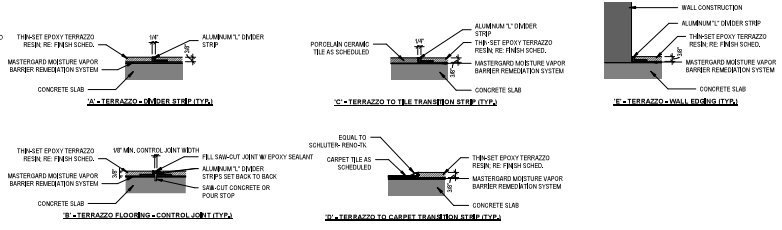
Drawn By: C.F.A.S.
Checked By: C.F.A.S.

AR P100-2003
BID DOCUMENTS



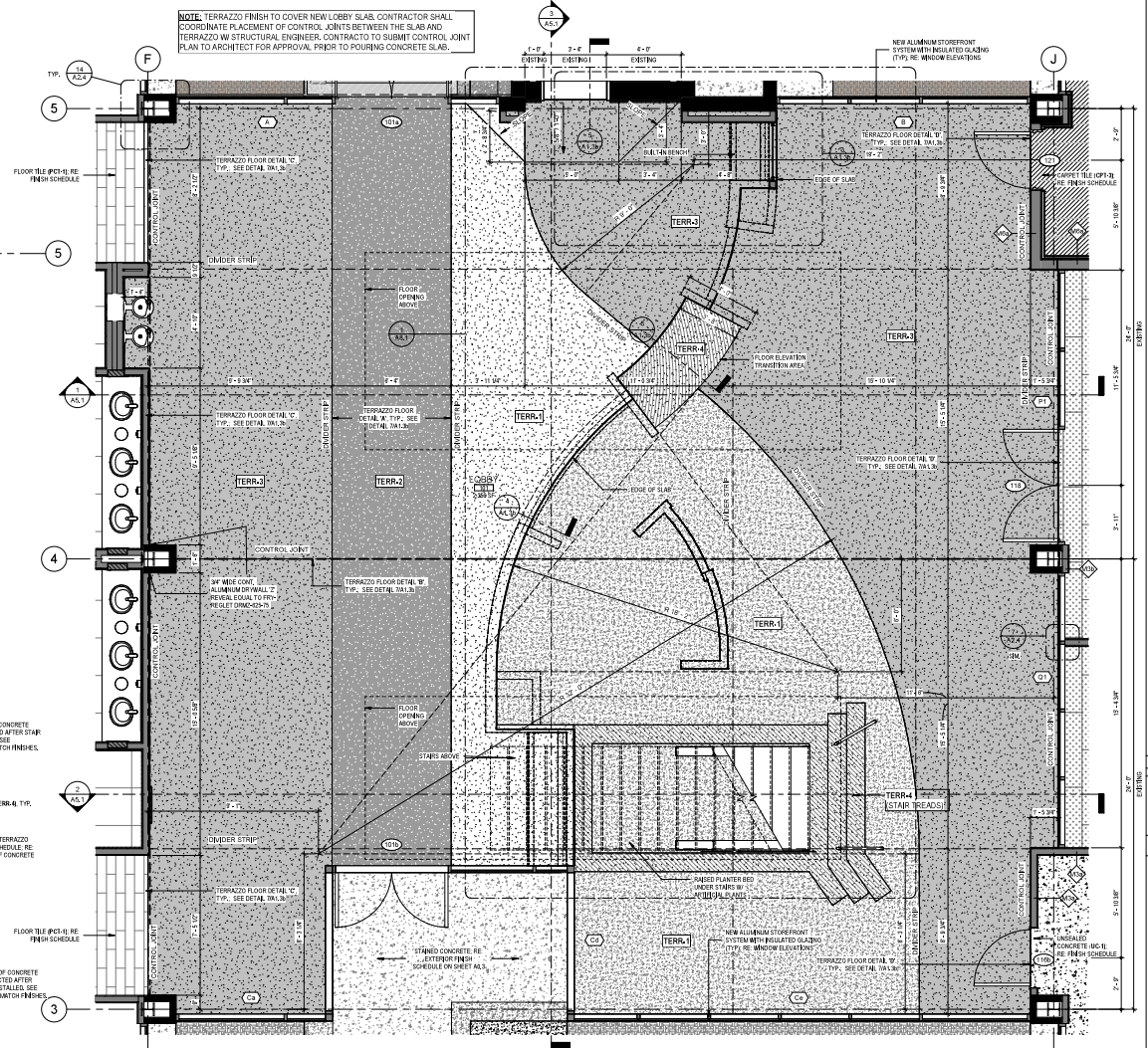
Floor Finish Legend	
	TERR-1-TERRAZZO (WHITE)
	TERR-2-TERRAZZO (BLUE)
	TERR-3-TERRAZZO (GRAY)
	TERR-4-TERRAZZO (RED)
	QT-1-QUARRY TILE (EXISTING)

THIN-SET EPOXY TERRAZZO RESIN FLOORING
SEE MANUFACTURER'S INSTRUCTIONS AND DETAILS FOR INSTALLATION (MASTER TERRAZZO THIN-SET EPOXY)

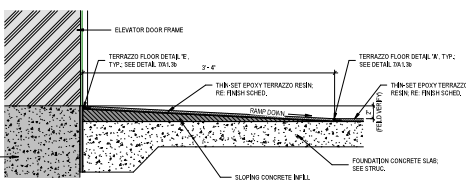


7 TERRAZZO FLOORING DETAILS
SCALE: 3" = 1'-0"

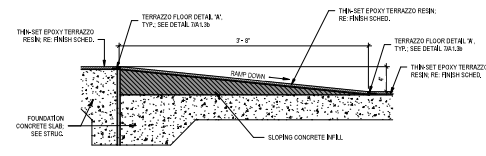
NOTE: TERRAZZO FINISH TO COVER NEW LOBBY SLAB. CONTRACTOR SHALL COORDINATE PLACEMENT OF CONTROL JOINTS BETWEEN THE SLAB AND TERRAZZO W/ STRUCTURAL ENGINEER. CONTRACTOR TO SUBMIT CONTROL JOINT PLAN TO ARCHITECT FOR APPROVAL PRIOR TO POURING CONCRETE SLAB.



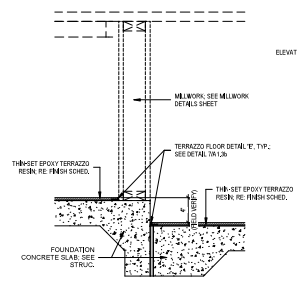
1 TERRAZZO LAYOUT PLAN - 101 LOBBY
SCALE: 3/8" = 1'-0"



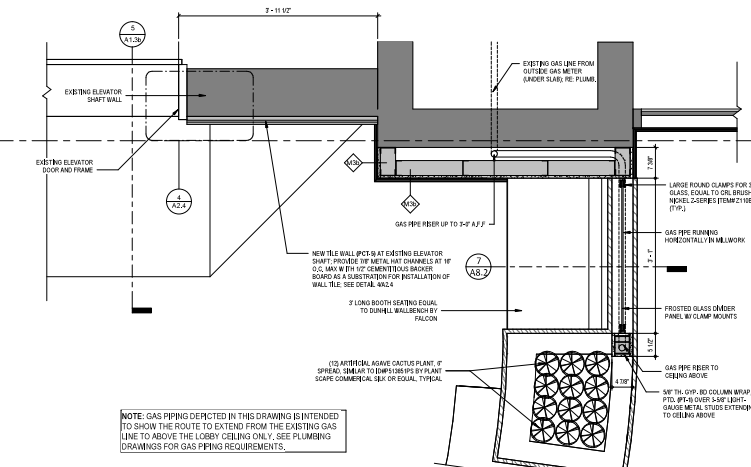
5 DETAIL - RAMP @ ELEVATOR
SCALE: 1 1/2" = 1'-0"



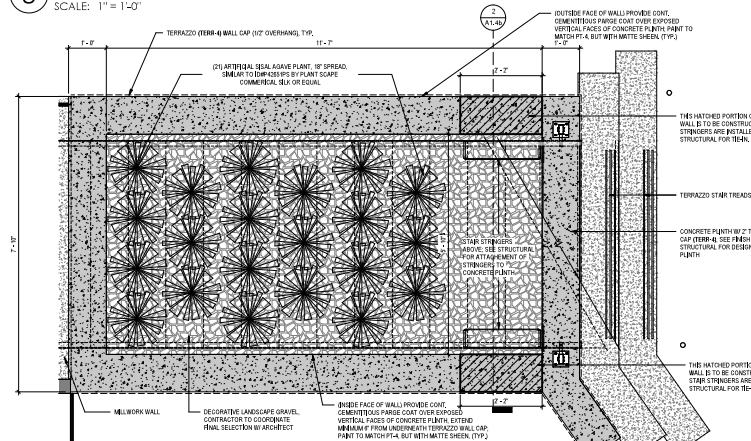
6 DETAIL - RAMP @ SLAB TRANSITION
SCALE: 1 1/2" = 1'-0"



4 DETAIL - EDGE OF SLAB
SCALE: 1 1/2" = 1'-0"



3 PLAN DETAIL - GAS PIPE IN MILLWORK
SCALE: 1" = 1'-0"



2 PLAN DETAIL - LARGE ARTIFICIAL PLANTING BED UNDER STAIRS
SCALE: 3/4" = 1'-0"

ISSUANCE SCHEDULE	
2022.02.01	Site Elevation
2022.04.15	Final Review
2024.06.18	Final Doc.

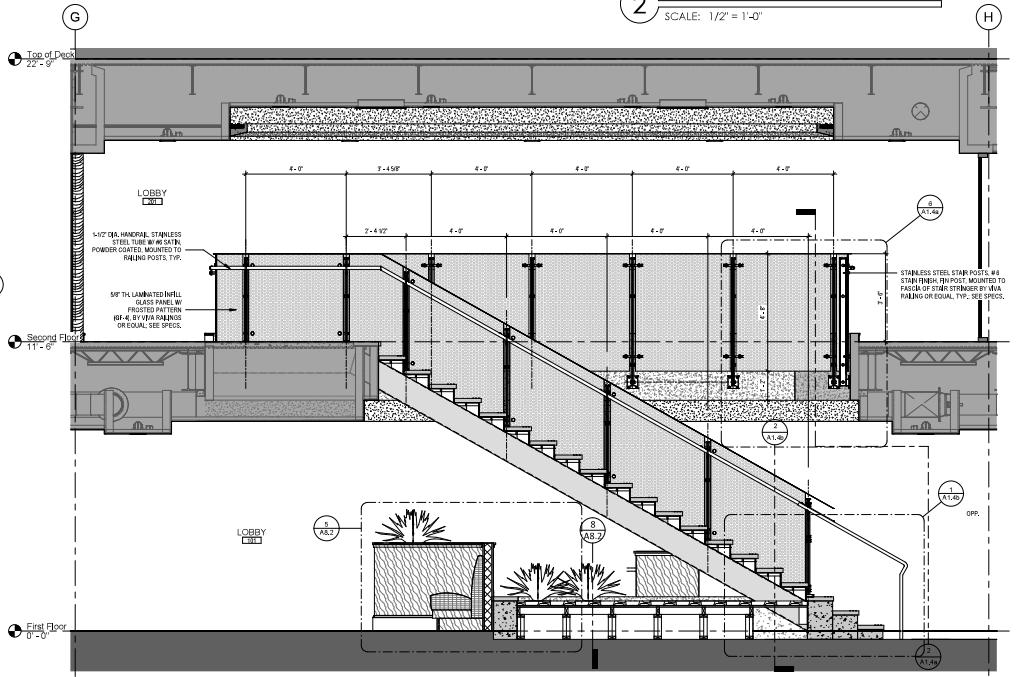
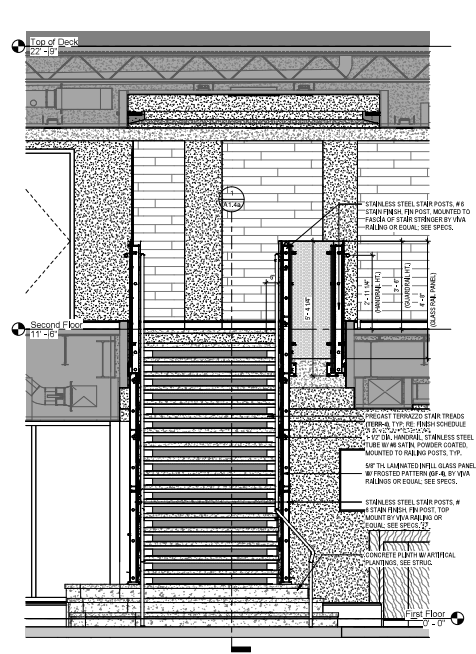
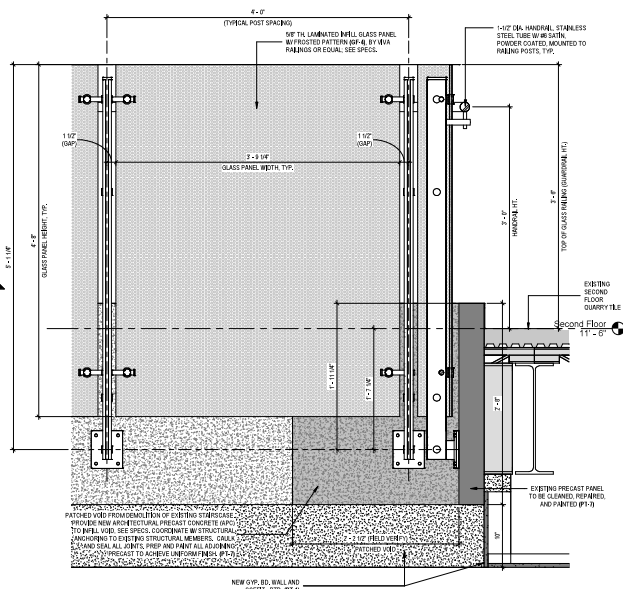
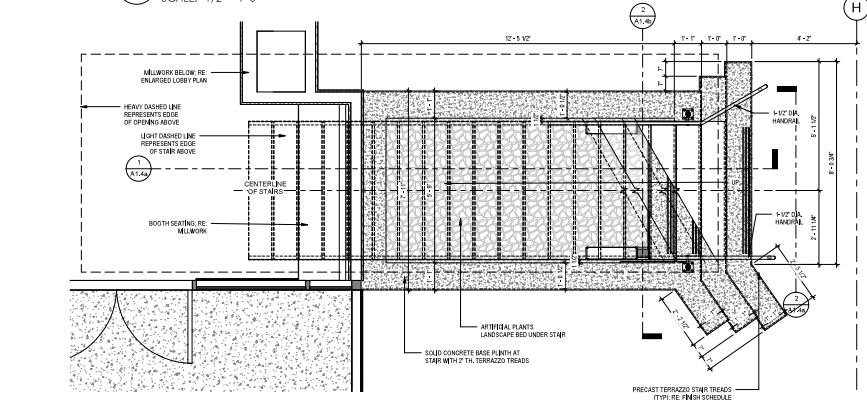
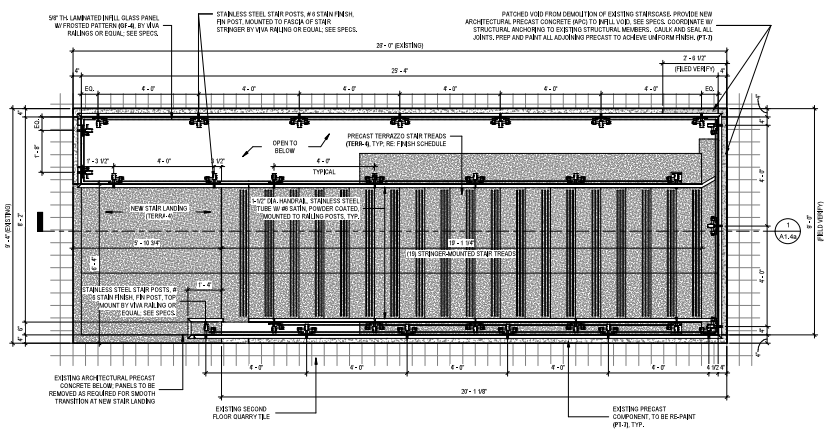
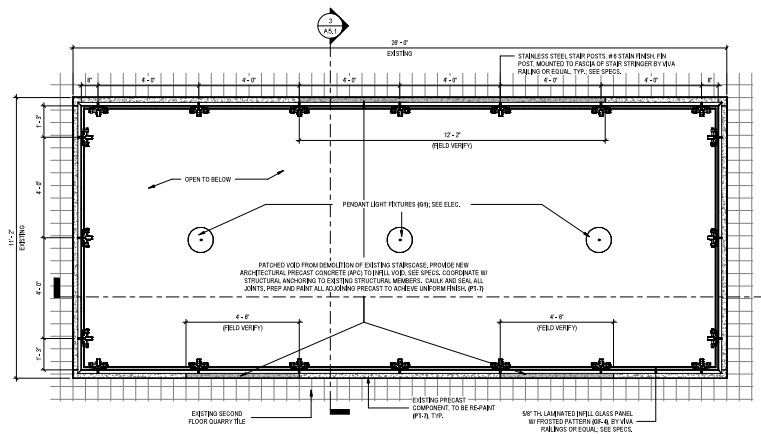
Drawn By: C.P.A.S.
Checked By: C.B.S.

AR PM 2003

BID DOCUMENTS



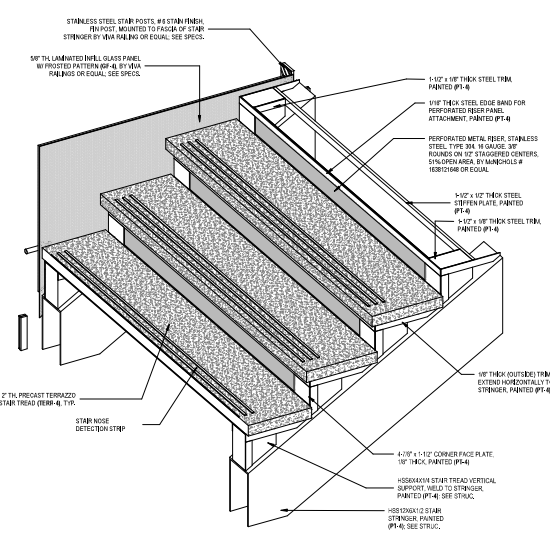
A1.4a
LOBBY STAIRS
DETAIL



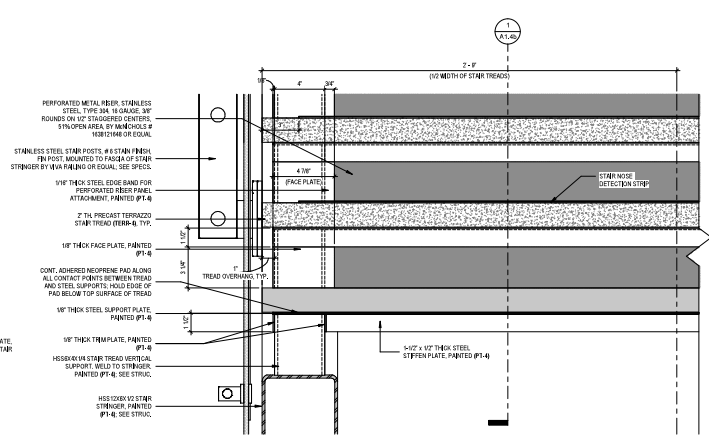
PERMANENT SCHEDULE	
2022.02.01	ISSUE COVERED
2022.04.01	PERMANENT SCHEDULE
2024.06.01	REV. DATE

Drawn by: C.P.H.A.S.
Checked by: C.P.H.A.S.

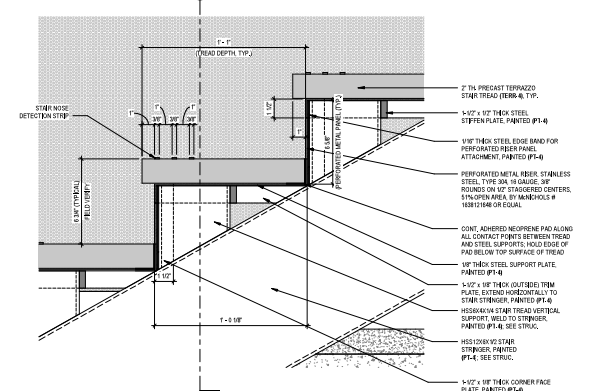
AR PM 20-003
BID DOCUMENTS



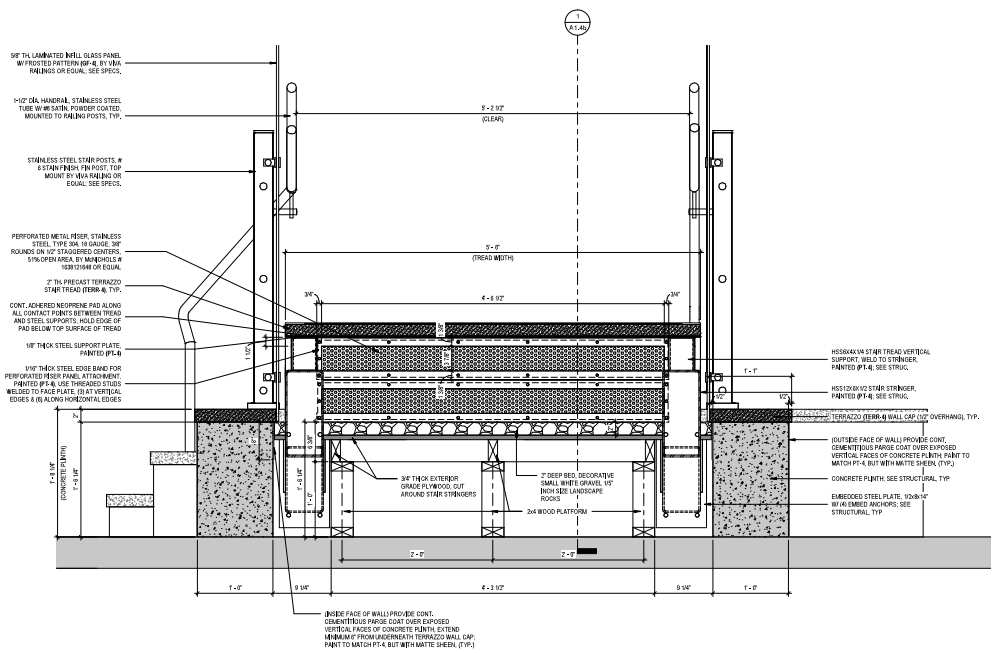
5 3D AXON - LOBBY STAIRS
SCALE:



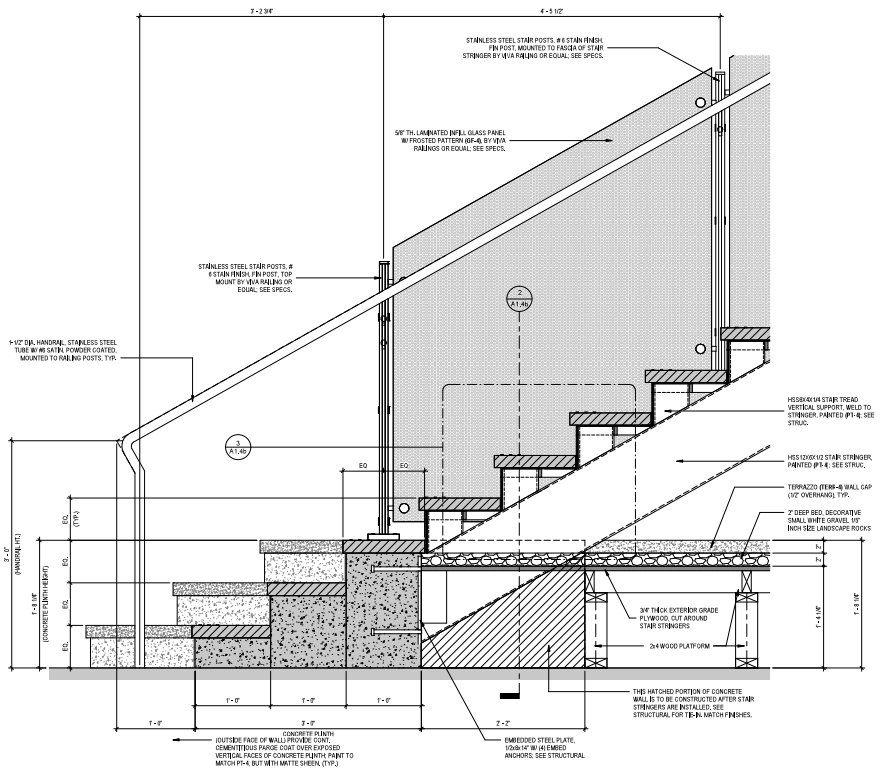
4 DETAIL - TYP. STAIR TREAD SUPPORTS
SCALE: 3\"/>



3 DETAIL - TYP. STAIR TREADS
SCALE: 3\"/>



2 DETAIL - CONCRETE PLINTH BASE CROSS-SECTION
SCALE: 1 1/2\"/>



1 DETAIL - CONCRETE PLINTH BASE
SCALE: 1 1/2\"/>

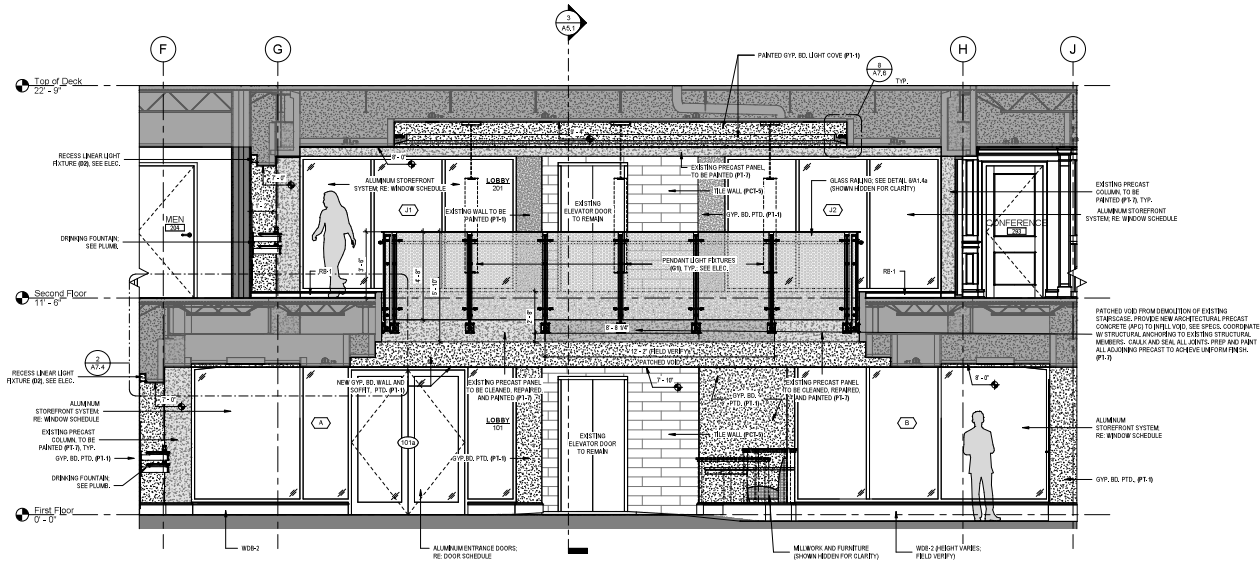
ISSUANCE SCHEDULE

2024.07.25	Final Contract
2024.06.19	Final Plans
2024.06.19	Bid Doc.

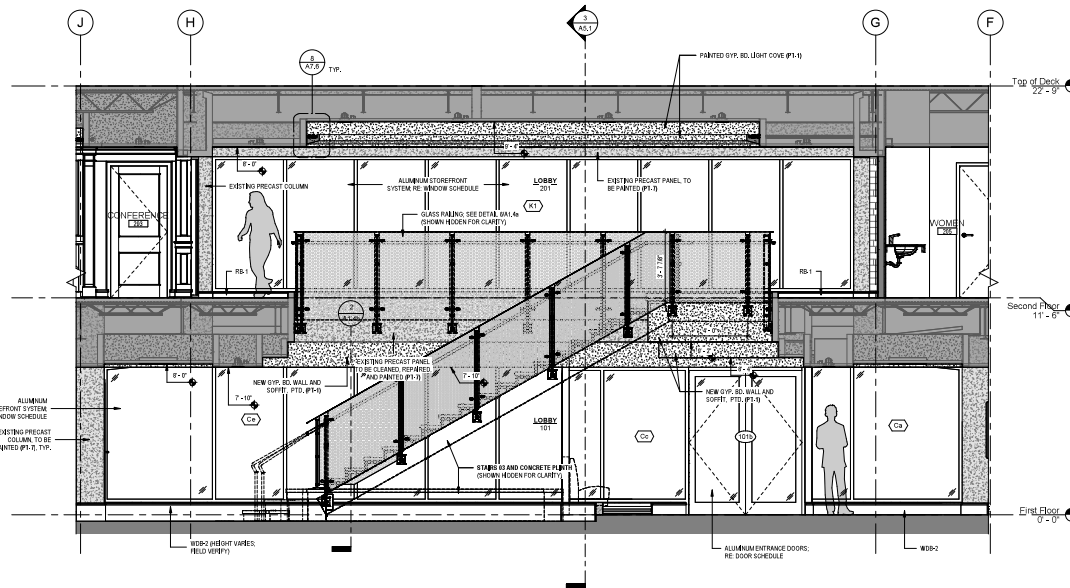
Drawn By: C.H.A.S.
Checked By: G.B.D.

AR PM 20-003

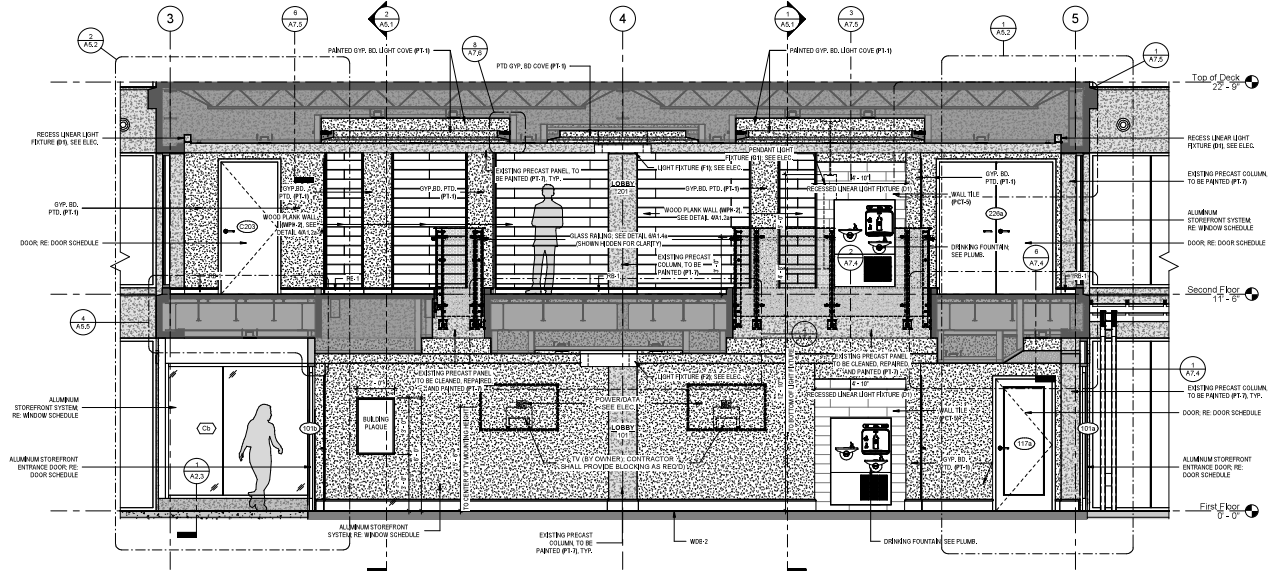
BID DOCUMENTS



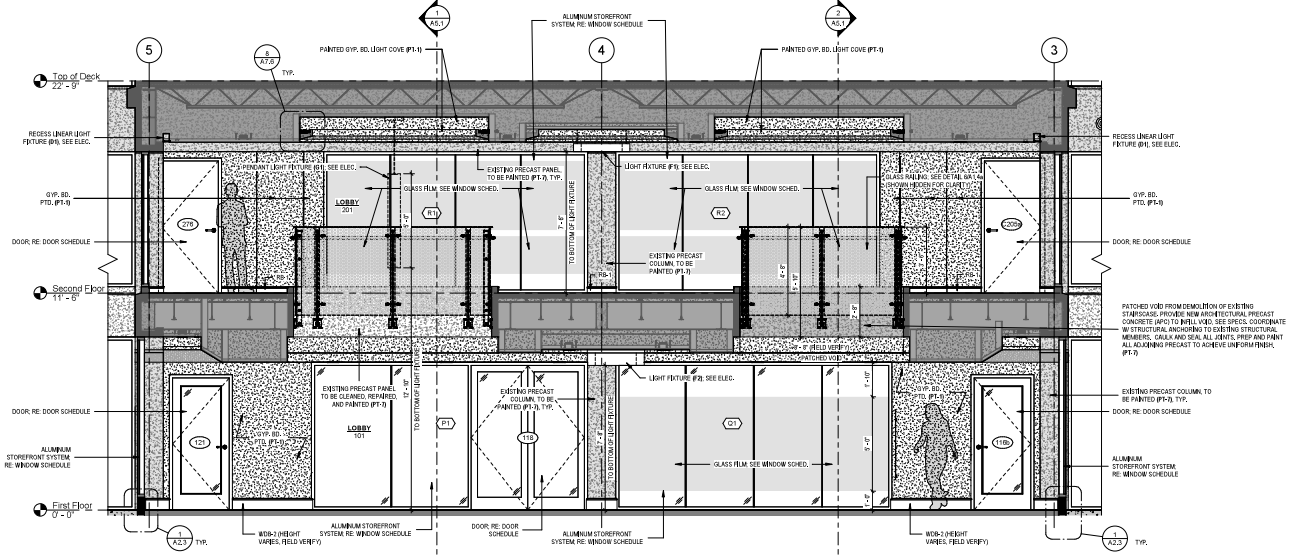
1 101 / 201 LOBBY - EAST
SCALE: 3/8" = 1'-0"



2 101 / 201 LOBBY - WEST
SCALE: 3/8" = 1'-0"



1 101 / 201 LOBBY - NORTH
SCALE: 3/8" = 1'-0"



2 101 / 201 LOBBY - SOUTH
SCALE: 3/8" = 1'-0"

ISSUANCE SCHEDULE

2022.01	REVISED	REVISED
2022.02	REVISED	REVISED
2024.06.18	REVISED	REVISED

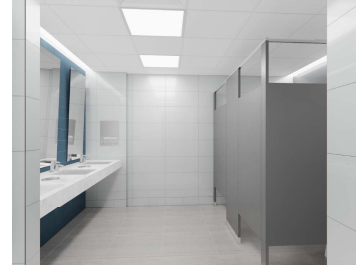
Drawn By: C.P.A.S.
Checked By: C.B.C.

AR-PRM-20-003

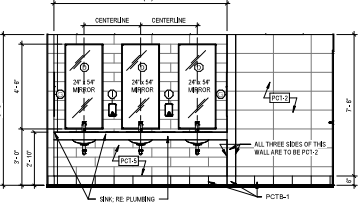
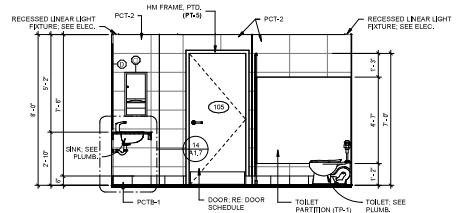
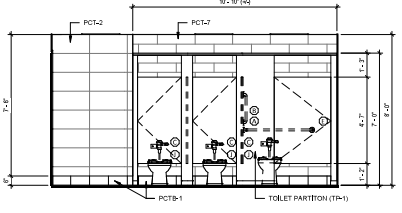
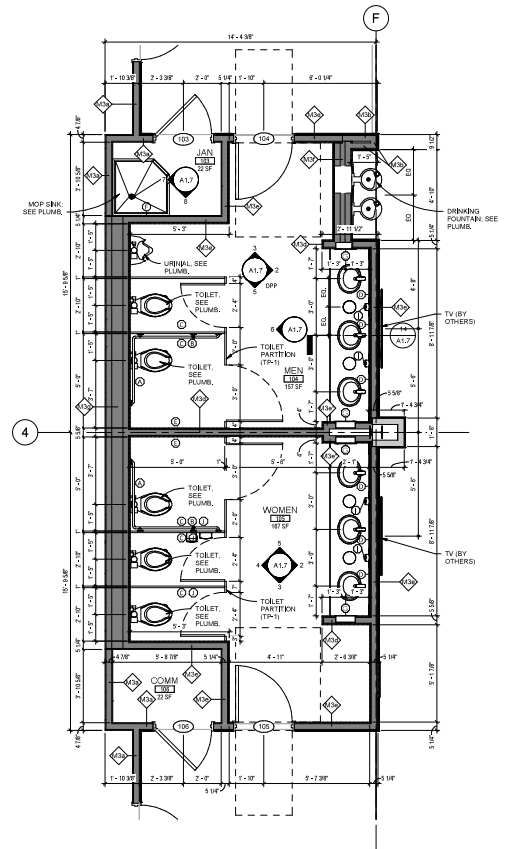
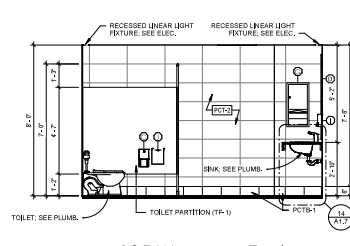
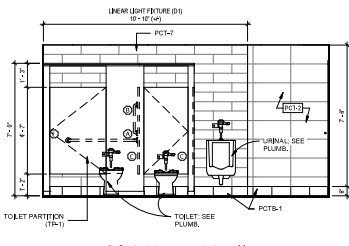
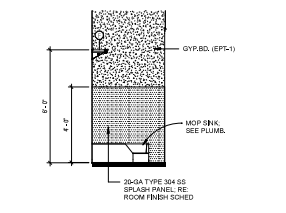
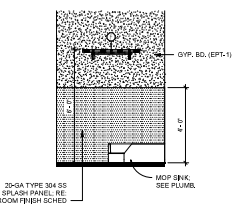
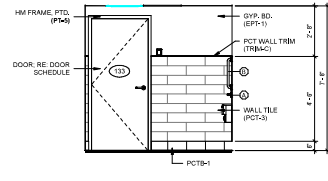
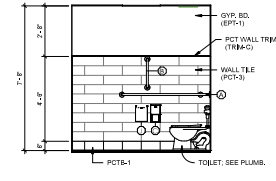
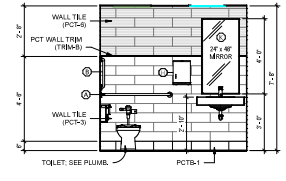
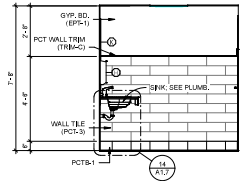
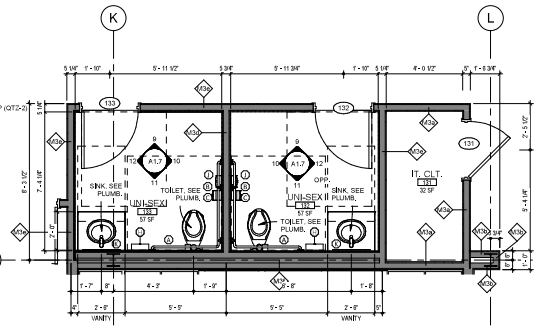
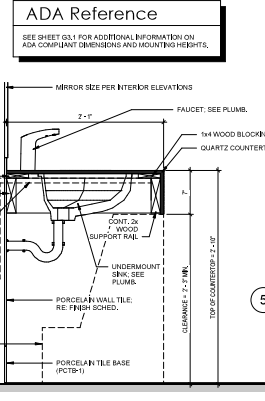
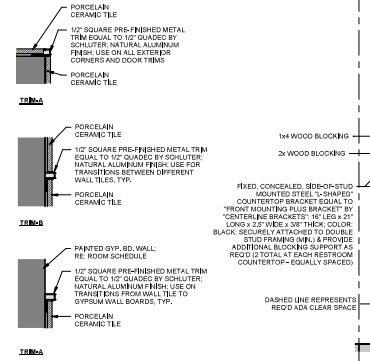
BID DOCUMENTS



- ### Toilet Accessories Key and Notes
- 1. TWO-WALL TOILET COMPARTMENT GRAB BARS 47x54" (S-550 BY BOBICK OR EQUAL)
 - 2. VERTICAL GRAB TOILET COMPARTMENT BAR (S-600H BY BOBICK OR EQUAL)
 - 3. SURFACE MOUNTED MIRROR, TOILET TISSUE DISPENSER (S-428 BY BOBICK OR EQUAL)
 - 4. 17" W x 48" H MIRROR (S-418 BY BOBICK OR EQUAL)
 - 5. WALL MOUNTED BABY CHANGING STATION (S-320 BY KOLA OR EQUAL)
 - 6. WALL MOUNTED HANDBOOK HOLDER (S-224 BY BOBICK OR EQUAL)
 - 7. RECESSED PAPER TOWEL DISPENSER (S-3880S BY BOBICK OR EQUAL)
 - 8. WALL MOUNTED PAPER TOWEL DISPENSER (S-4652 BY BOBICK OR EQUAL)
 - 9. WALL MOUNTED SOAP DISPENSER (S-2111 BY BOBICK OR EQUAL)
 - 10. SURFACE MOUNTED SANITARY NAPKIN DISPENSER (S-2079 BY BOBICK OR EQUAL)
 - 11. SURFACE MOUNTED SANITARY NAPKIN DISPENSER (S-2079 BY BOBICK OR EQUAL)
 - 12. 37" W x 48" H MIRROR (S-418 BY BOBICK OR EQUAL)
- GENERAL NOTES:**
1. SEE SHORTELEVATION SECTION 10388 FOR PRODUCT INFORMATION.
 2. PROVIDE OUTLETS PRIOR TO ORDERING ACCESSORIES.
 3. VERIFY ALL COMPARTMENT MOUNTING HEIGHTS AND SPACING. ALL RESTROOM ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 4. PROVIDE ALL NECESSARY JOISTS AND PARTS FOR COMPLETE INSTALLATION.
 5. ALL ACCESSORIES SHALL BE BRANDED, OUT OF THE BOX AND PROVIDED WITH THE MANUFACTURER'S MANUALS.
 6. COORDINATE ACCESSORIES INSTALLATION WITH PLUMBING FEATURES. RE PLUMBING DRAWINGS.



16 INTERIOR 3D RENDERING - RESTROOM
SCALE: N.T.S.



1 Enlarged Plan @ Men [104] and Women [105]
SCALE: 3/8" = 1'-0"

MEN [104] AND WOMEN [105] ARE SIMILAR LAYOUT TO MEN [103] AND WOMEN [102]. SECOND FLOOR RESTROOMS DO NOT HAVE ELECTRONIC OPENING/FIXTURES. SEE GENERAL FLOOR PLANS.



4 INTERIOR 3D RENDERING - JUDICIAL REVIEW 134 VIEW 01
SCALE: N.T.S.



3 INTERIOR 3D RENDERING - JUDICIAL REVIEW 134 VIEW 02
SCALE: N.T.S.



2 INTERIOR 3D RENDERING - TM. OFFICE 122
SCALE: N.T.S.



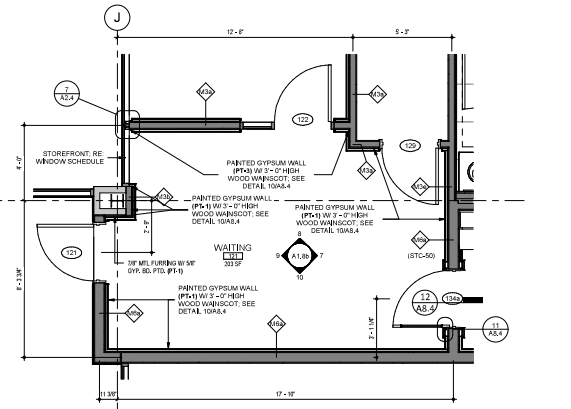
1 INTERIOR 3D RENDERING - WAITING 121
SCALE: N.T.S.

ISSUANCE SCHEDULE	
2022.01	50% Complete
2022.02	75% Complete
2022.04	100% Complete

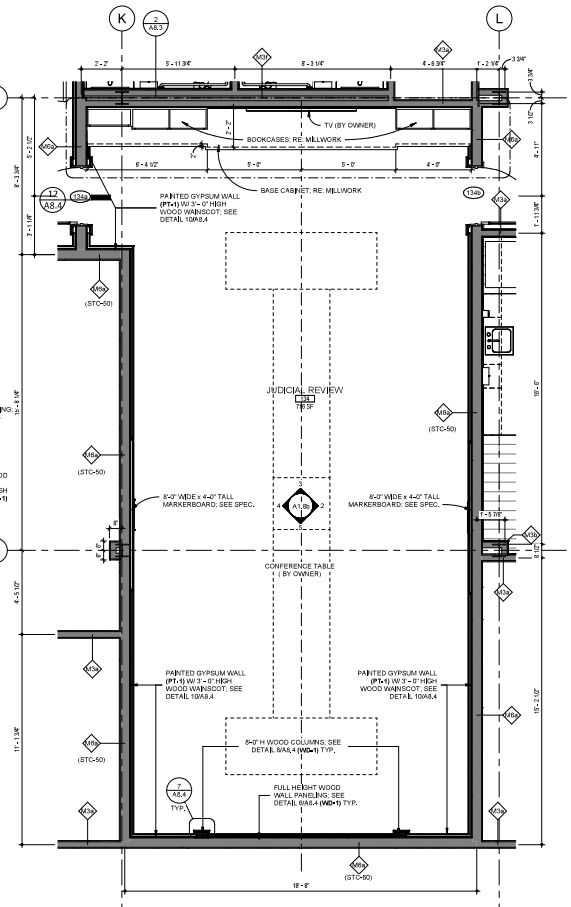
Drawn by: CJF/AS
Checked by: GJG/DF

AR PM 20-003

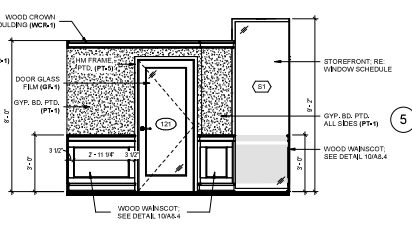
BID DOCUMENTS



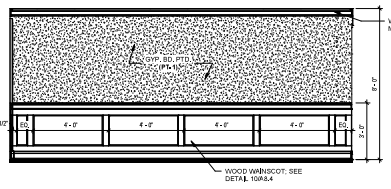
6 ENLARGED PLAN - 121 WAITING
SCALE: 3/8" = 1'-0"



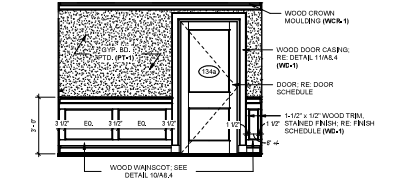
1 ENLARGED PLAN - 134 JUDICIAL REVIEW
SCALE: 3/8" = 1'-0"



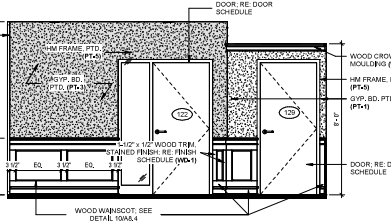
9 121 WAITING - NORTH
SCALE: 3/8" = 1'-0"



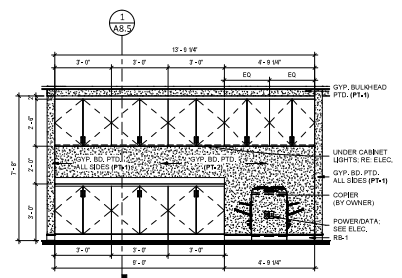
10 121 WAITING - WEST
SCALE: 3/8" = 1'-0"



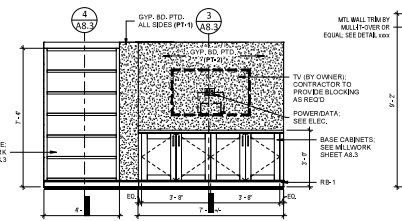
7 121 WAITING - SOUTH
SCALE: 3/8" = 1'-0"



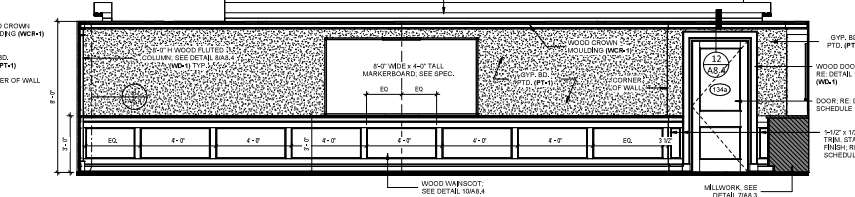
8 121 WAITING - EAST
SCALE: 3/8" = 1'-0"



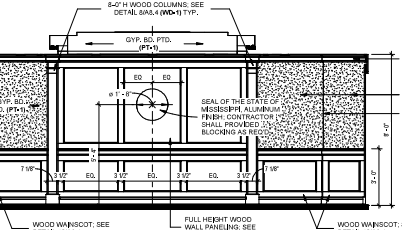
12 129 CORRIDOR - COPIER
SCALE: 3/8" = 1'-0"



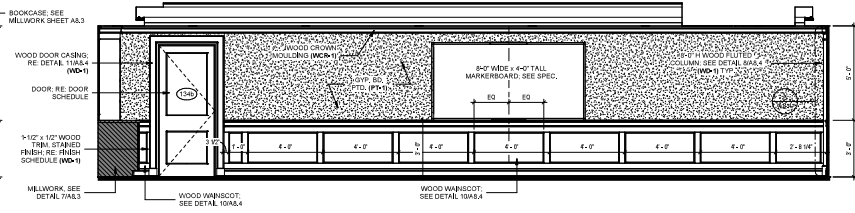
11 128 SMALL MEETING - SOUTH
SCALE: 3/8" = 1'-0"



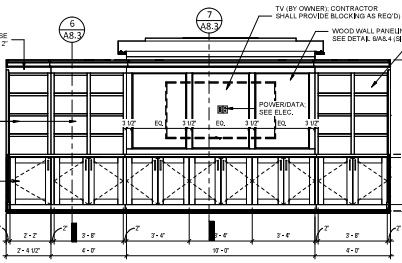
4 134 JUDICIAL REVIEW - NORTH
SCALE: 3/8" = 1'-0"



5 134 JUDICIAL REVIEW - WEST
SCALE: 3/8" = 1'-0"



2 134 JUDICIAL REVIEW - SOUTH
SCALE: 3/8" = 1'-0"



3 134 JUDICIAL REVIEW - EAST
SCALE: 3/8" = 1'-0"



4 INTERIOR 3D RENDERING - EXECUTIVE OFFICE 260
SCALE: N.T.S.



3 INTERIOR 3D RENDERING - EXECUTIVE RECEPTION 259
SCALE: N.T.S.



2 INTERIOR 3D RENDERING - CONFERENCE 293 VIEW 02
SCALE: N.T.S.



1 INTERIOR 3D RENDERING - CONFERENCE 293 VIEW 01
SCALE: N.T.S.

ISSUANCE SCHEDULE	
2022.07.21	REVISED
2022.06.19	REVISED
2022.06.18	REVISED

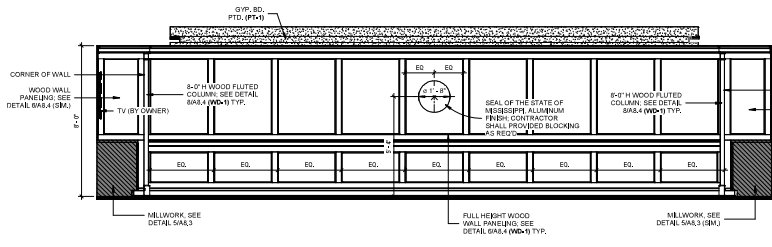
Drawn By: C.H.A.S.
Checked By: G.B.D.

AR PM 2003

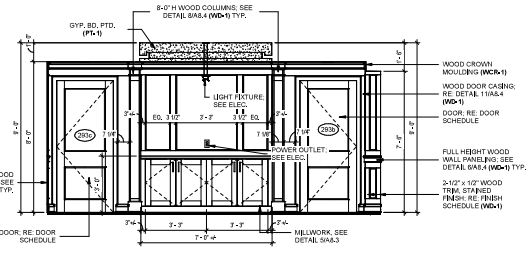
BID DOCUMENTS



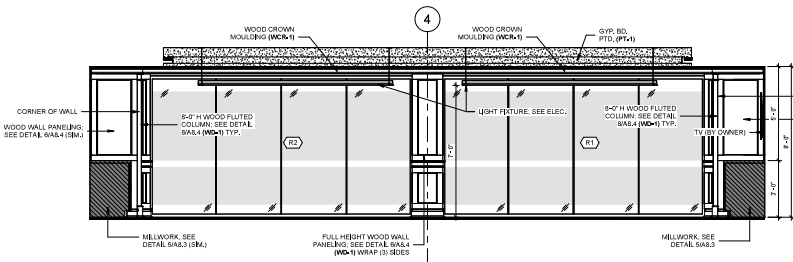
A1.9b
ENLARGED PLANS
& INTERIOR
ELEVATIONS



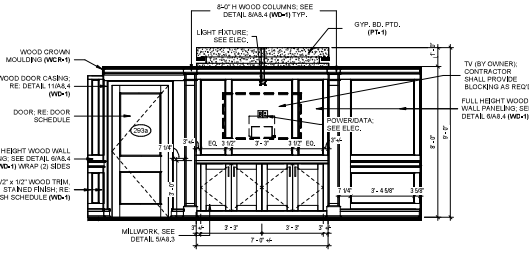
13 209 CONFERENCE - SOUTH
SCALE: 3/8" = 1'-0"



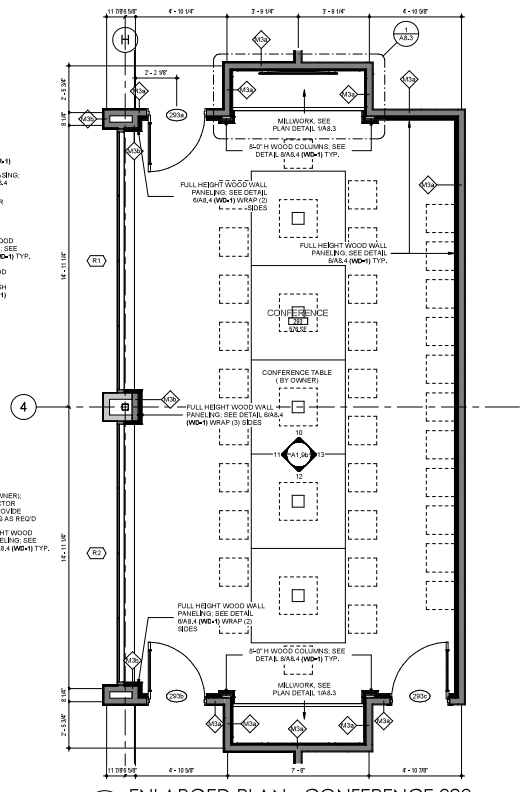
12 209 CONFERENCE - WEST
SCALE: 3/8" = 1'-0"



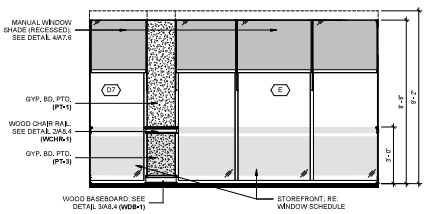
11 209 CONFERENCE - NORTH
SCALE: 3/8" = 1'-0"



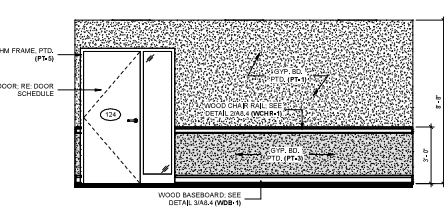
10 209 CONFERENCE - EAST
SCALE: 3/8" = 1'-0"



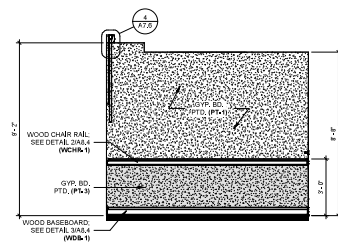
9 ENLARGED PLAN - CONFERENCE 209
SCALE: 3/8" = 1'-0"



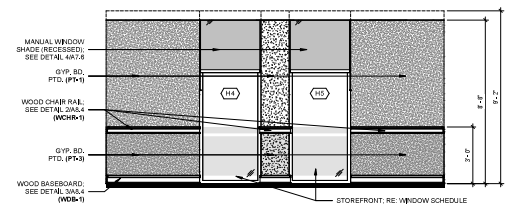
8 127 MIDDLE MANAGERIAL OFFICE - SOUTH
SCALE: 3/8" = 1'-0" TYPICAL ROOMS 123, 124, 125, & 127



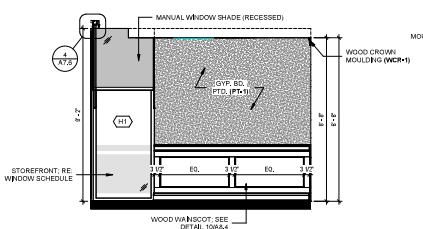
7 1ST FLOOR MM. OFFICE - 3 (TYP.)
SCALE: 3/8" = 1'-0" TYPICAL ROOMS 123, 124, 125, & 127



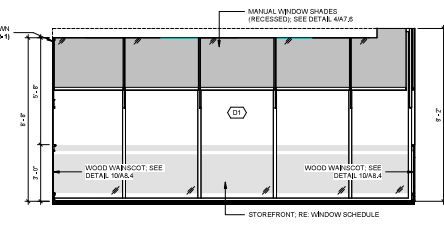
6 1ST FLOOR MM. OFFICE - 2 (TYP.)
SCALE: 3/8" = 1'-0" TYPICAL ROOMS 123, 124, 125, & 127



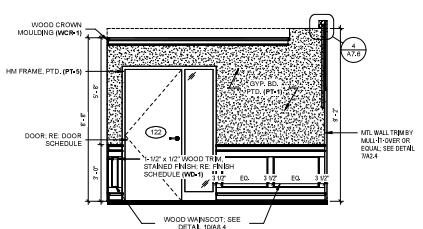
5 1ST FLOOR MM. OFFICE - 1 (TYP.)
SCALE: 3/8" = 1'-0" TYPICAL ROOMS 123, 124, & 125



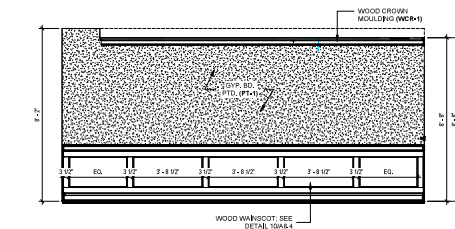
4 1ST FLOOR CORNER TM. OFFICE - 4 (TYP.)
SCALE: 3/8" = 1'-0" TYPICAL ROOMS 122 & 126



3 1ST FLOOR CORNER TM. OFFICE - 3 (TYP.)
SCALE: 3/8" = 1'-0" TYPICAL ROOMS 122 & 126



2 1ST FLOOR CORNER TM. OFFICE - 2 (TYP.)
SCALE: 3/8" = 1'-0" TYPICAL ROOMS 122 & 126



1 1ST FLOOR CORNER TM. OFFICE - 1 (TYP.)
SCALE: 3/8" = 1'-0" TYPICAL ROOMS 122 & 126

ISSUANCE SCHEDULE

2022.01.21	REVISED	REVISED
2022.01.21	REVISED	REVISED
2022.01.21	REVISED	REVISED

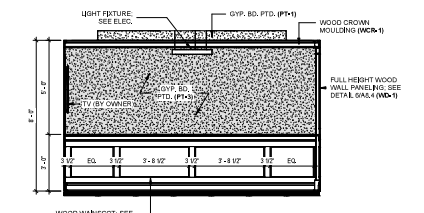
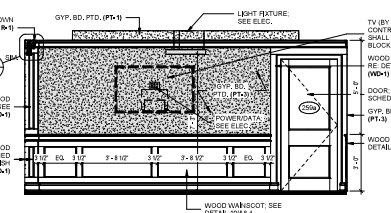
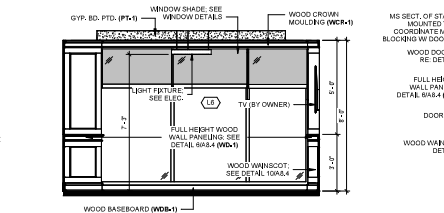
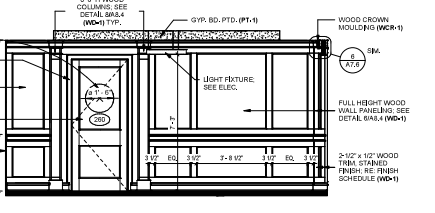
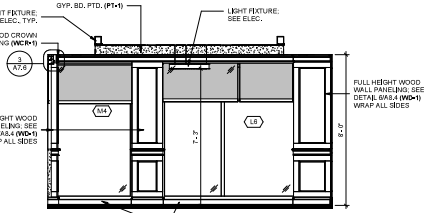
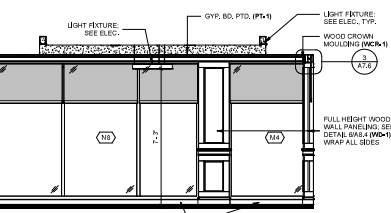
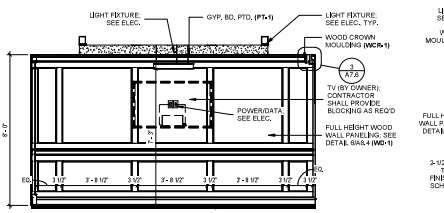
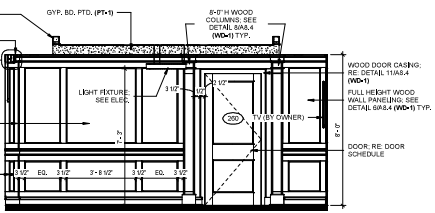
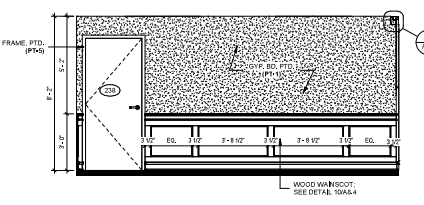
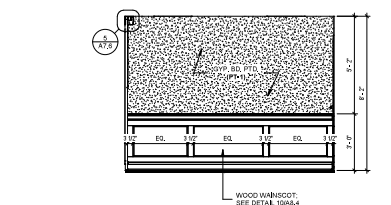
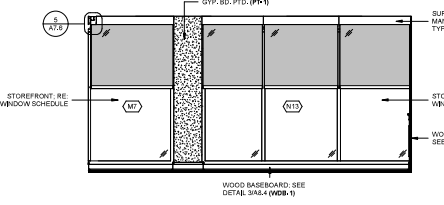
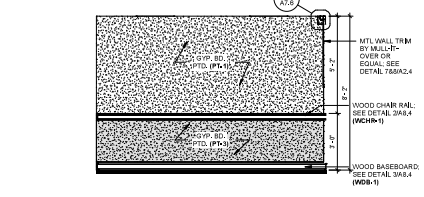
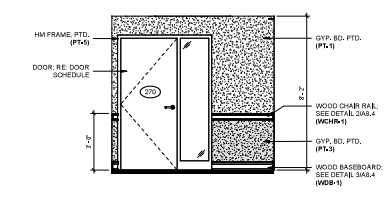
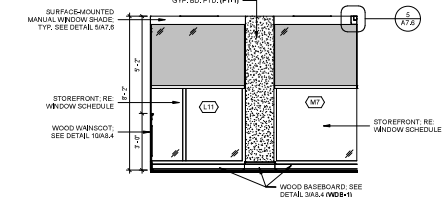
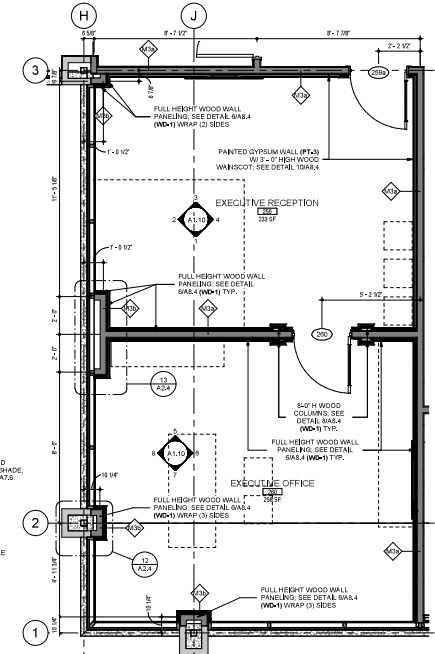
Drawn By: C.F.A.S.
Checked By: C.F.A.S.

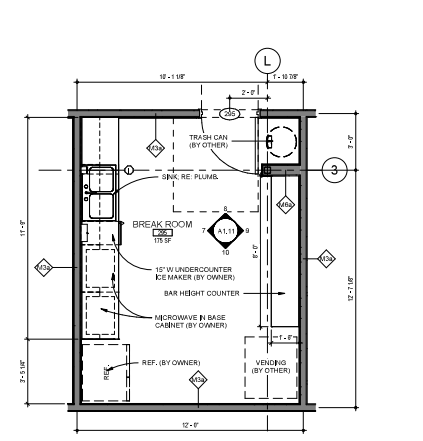
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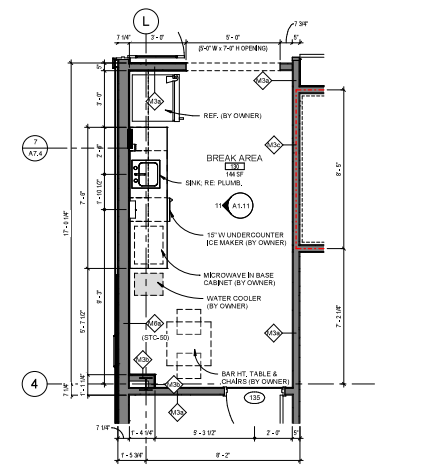


A1.10
ENLARGED PLANS
& INTERIOR
ELEVATIONS

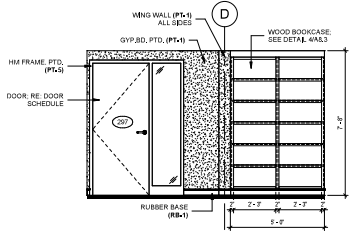




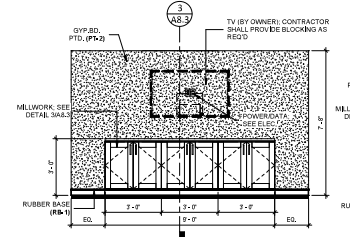
17 ENLARGED PLAN @ BREAK ROOM 295
SCALE: 3/8" = 1'-0" BREAK ROOM 296 (SIMILAR)



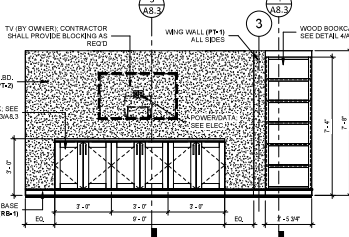
16 ENLARGED PLAN @ BREAK AREA 130
SCALE: 3/8" = 1'-0"



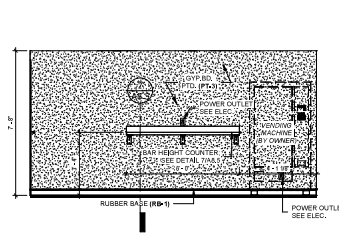
15 297 SMALL MEETING - EAST
SCALE: 3/8" = 1'-0"



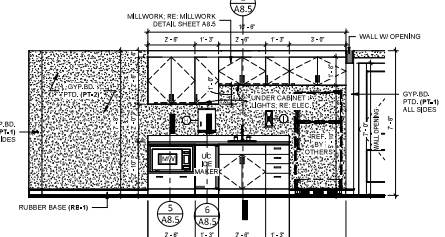
14 297 SMALL MEETING - WEST
SCALE: 3/8" = 1'-0"



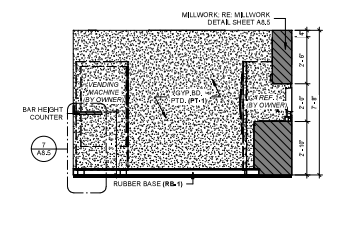
13 294 SMALL MEETING - NORTH
SCALE: 3/8" = 1'-0"



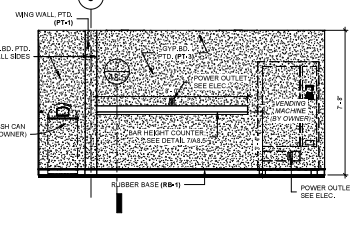
12 296 BREAK ROOM - SOUTH
SCALE: 3/8" = 1'-0"



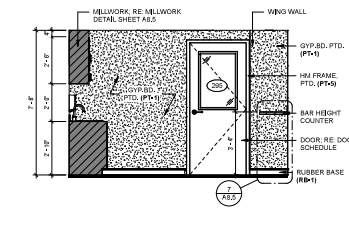
11 130 BREAK AREA - NORTH
SCALE: 3/8" = 1'-0"



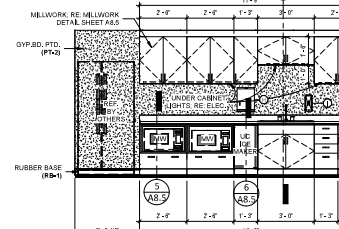
10 295 BREAK ROOM - WEST
SCALE: 3/8" = 1'-0"



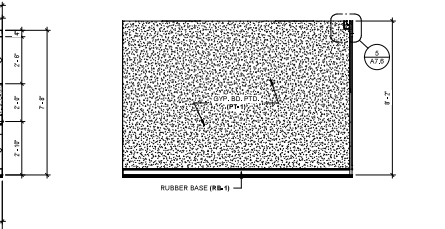
9 295 BREAK ROOM - SOUTH
SCALE: 3/8" = 1'-0"



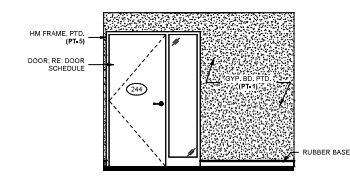
8 295 BREAK ROOM - EAST
SCALE: 3/8" = 1'-0"



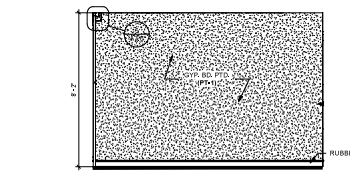
7 295 BREAK ROOM - NORTH
SCALE: 3/8" = 1'-0" BREAK ROOM 296 (SIMILAR)



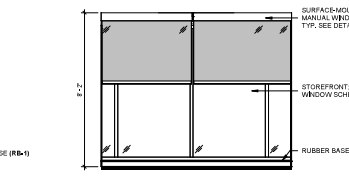
6 2ND FLOOR PT. OFFICE - 4 (TYP.)
SCALE: 3/8" = 1'-0" SEE SECOND FLOOR PLAN



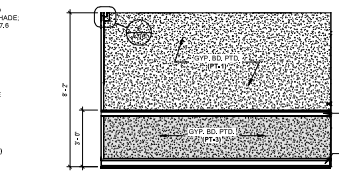
5 2ND FLOOR PT. OFFICE - 3 (TYP.)
SCALE: 3/8" = 1'-0" SEE SECOND FLOOR PLAN



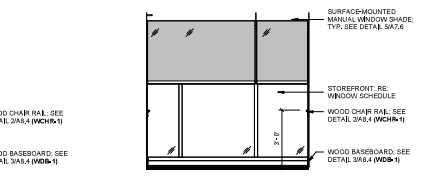
4 2ND FLOOR PT. OFFICE - 2 (TYP.)
SCALE: 3/8" = 1'-0" SEE SECOND FLOOR PLAN



3 2ND FLOOR PT. OFFICE - 1 (TYP.)
SCALE: 3/8" = 1'-0" SEE SECOND FLOOR PLAN



2 2ND FLOOR MM. OFFICE - 4 (TYP.)
SCALE: 3/8" = 1'-0" SEE SECOND FLOOR PLAN



1 2ND FLOOR MM. OFFICE - 3 (TYP.)
SCALE: 3/8" = 1'-0" SEE SECOND FLOOR PLAN



4 INTERIOR 3D RENDERING - SMALL MEETING 128
SCALE: N.T.S.



3 INTERIOR 3D RENDERING - B. OPEN OFFICE 276
SCALE: N.T.S.



2 INTERIOR 3D RENDERING - BREAK AREA 130
SCALE: N.T.S.



1 INTERIOR 3D RENDERING - CORRIDOR 129 WORK AREA
SCALE: N.T.S.

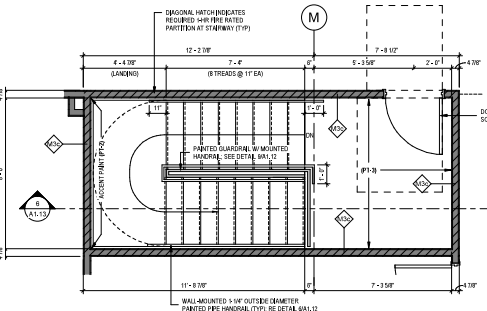
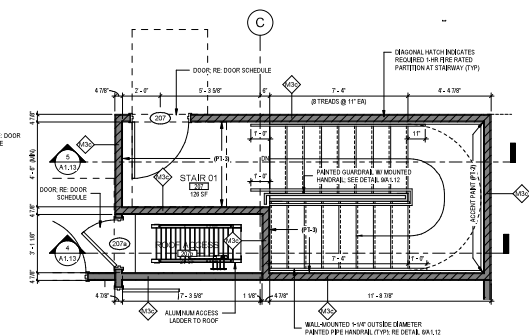
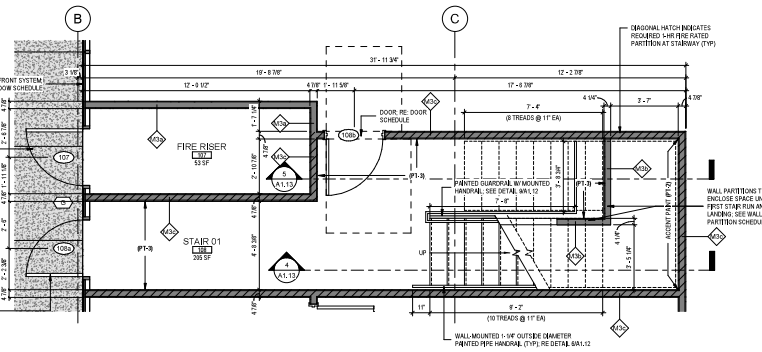
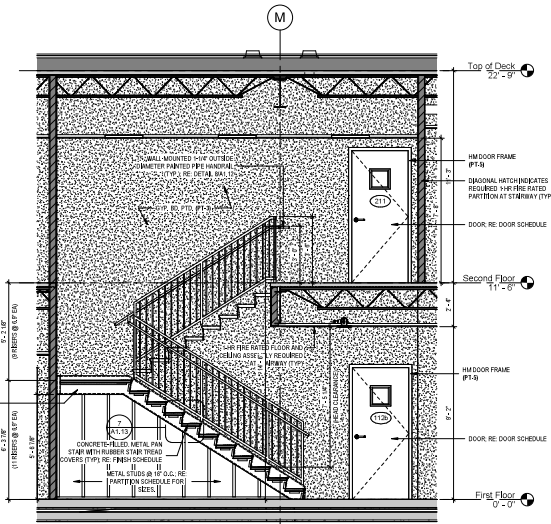
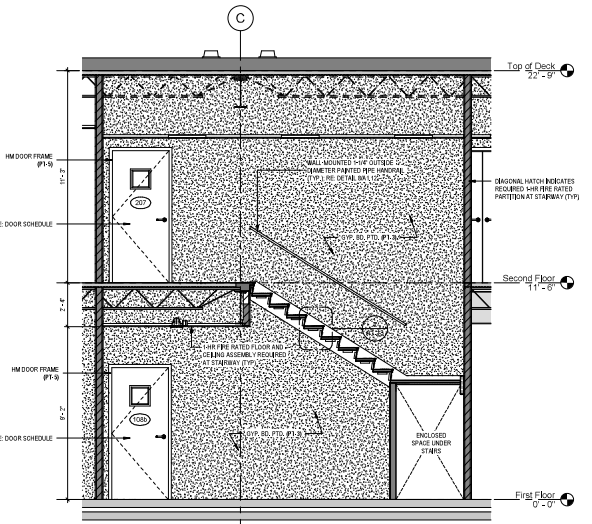
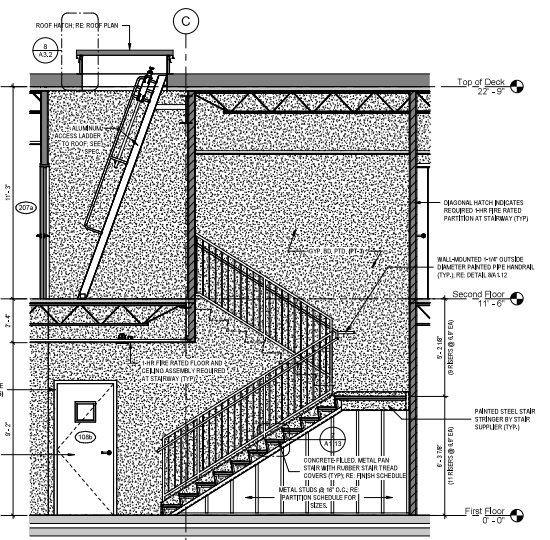
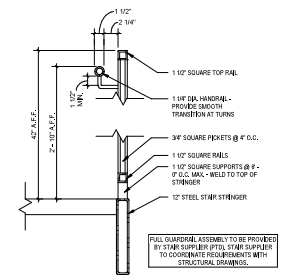
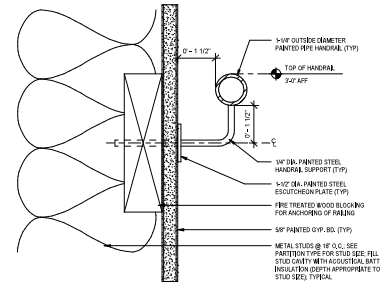
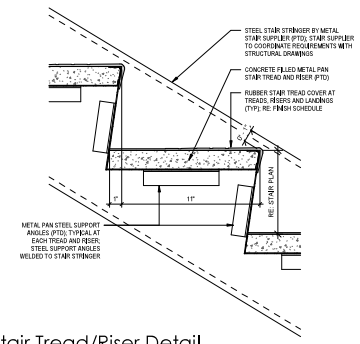
ISSUANCE SCHEDULE	
2022.07.21	Final Contract
2022.07.21	Final Permit
2022.08.18	Final Bid Doc.

Drawn By: C.H.A.S.
Checked By: G.B.P.

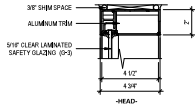
AR PM 20-003

BID DOCUMENTS

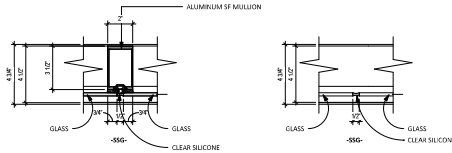




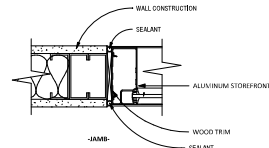
FIRST FLOOR PLAN AT STAIR 01B (BEHIND AND OPPOSITE TO STAIR 01)



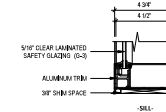
20 INTERIOR SF-B HEAD DETAIL
SCALE: 3" = 1'-0"



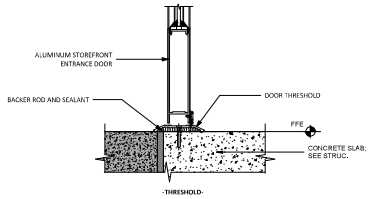
18 INTERIOR SF-B SILICONE GLAZING JOINT
SCALE: 3" = 1'-0"



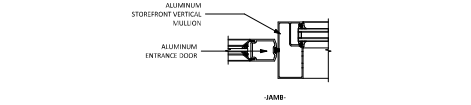
19 INTERIOR SF-B JAMB DETAIL
SCALE: 3" = 1'-0"



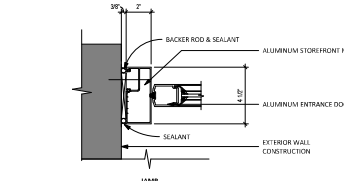
17 INTERIOR SF-B SILL DETAIL
SCALE: 3" = 1'-0"



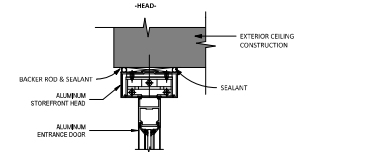
16 SF ENTRANCE DOOR THRESHOLD
SCALE: 3" = 1'-0"



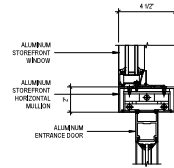
15 SF-A WIN. JAMB DETAIL @ ENTRANCE DOOR
SCALE: 3" = 1'-0"



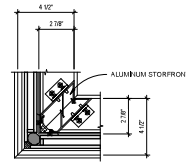
14 SF-A JAMB DETAIL @ ENTRANCE DOOR
SCALE: 3" = 1'-0"



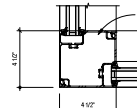
13 SF-A HEAD @ ENTRANCE DOOR
SCALE: 3" = 1'-0"



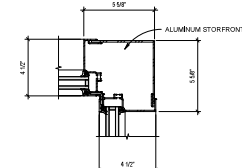
12 SF-A WINDOW TRANSOM @ ENTRANCE DOOR
SCALE: 3" = 1'-0"



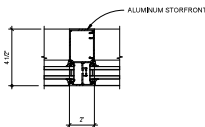
11 SF-A WIN. OUTSIDE CORNER DART MULLION
SCALE: 3" = 1'-0"



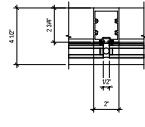
10 SF-A WIN. OUTSIDE CORNER POST @ EXTERIOR
SCALE: 3" = 1'-0"



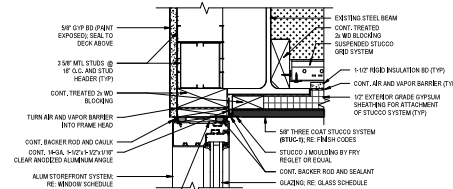
9 SF-A WIN. INSIDE CORNER POST @ EXTERIOR
SCALE: 3" = 1'-0"



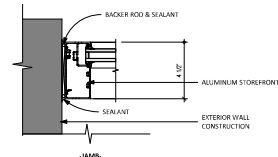
8 SF-A WINDOW VERT. MULLION @ EXTERIOR
SCALE: 3" = 1'-0"



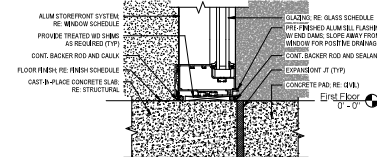
7 SF-A WINDOW SSG VERT. MULLION @ EXTERIOR
SCALE: 3" = 1'-0"



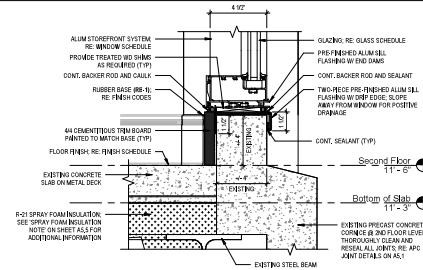
6 SF-A WINDOW HEAD DETAIL @ EXTERIOR
SCALE: 3" = 1'-0"



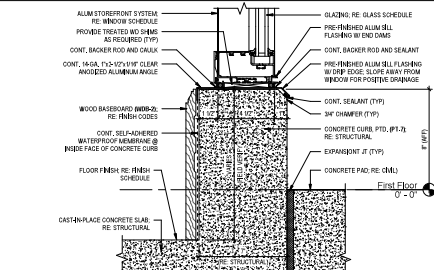
5 SF-A WINDOW JAMB DETAIL @ EXTERIOR
SCALE: 3" = 1'-0"



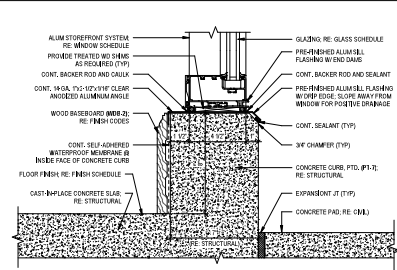
4 SF-A WINDOW SILL DETAIL - TYPE 'D'
SCALE: 3" = 1'-0"



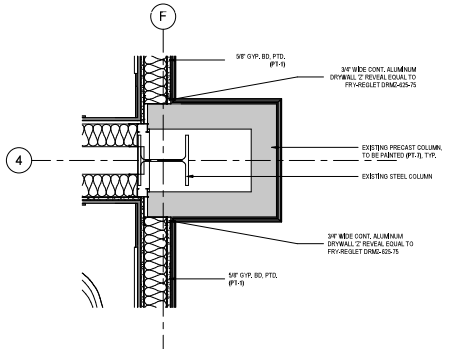
3 SF-A WINDOW SILL DETAIL - TYPE 'C'
SCALE: 3" = 1'-0"



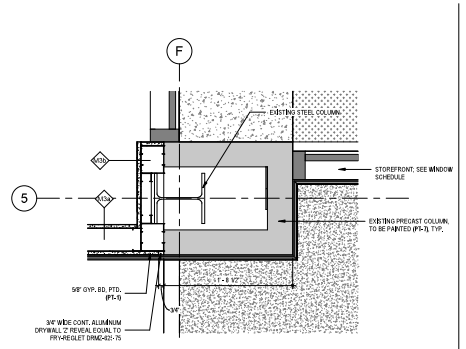
2 SF-A WINDOW SILL DETAIL - TYPE 'B'
SCALE: 3" = 1'-0"



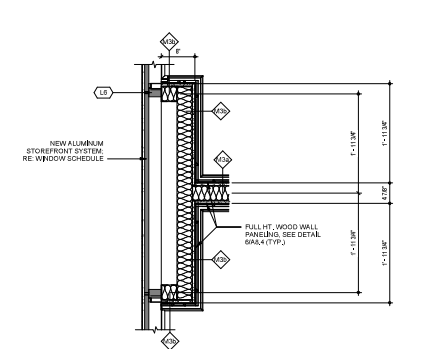
1 SF-A WINDOW SILL DETAIL - TYPE 'A'
SCALE: 3" = 1'-0"



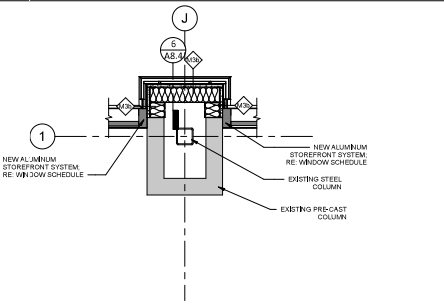
15 DETAIL - NEW WALLS @ EXIST. PRECAST COLUMN
SCALE: 1 1/2" = 1'-0"



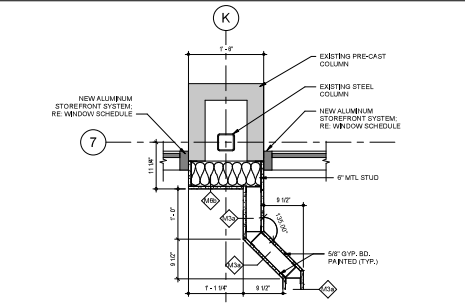
14 DETAIL - NEW WALL @ EXIST. PRECAST COLUMN
SCALE: 1 1/2" = 1'-0"



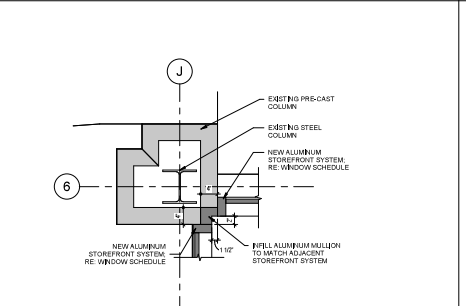
13 PLAN DETAIL - WALL @ SPANDREL GLASS
SCALE: 1" = 1'-0"



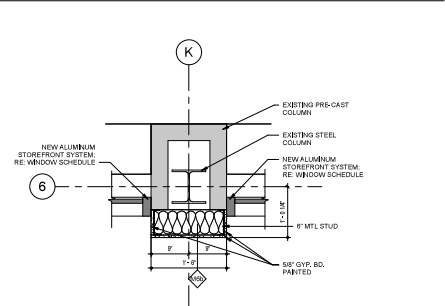
12 DETAIL - COLUMN FURRING 1
SCALE: 1" = 1'-0"



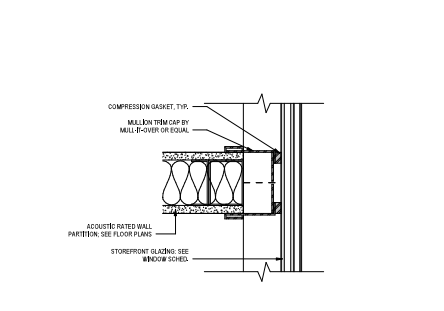
11 DETAIL - WALL-TO-COLUMN CONNECTION
SCALE: 1" = 1'-0"



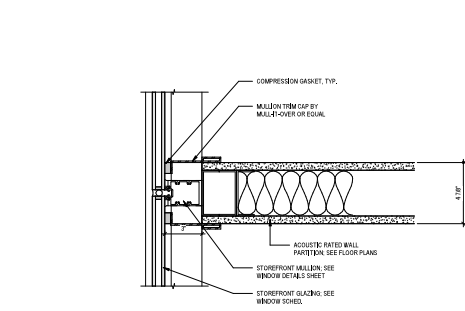
10 DETAIL - INSIDE STOREFRONT CORNER
SCALE: 1" = 1'-0"



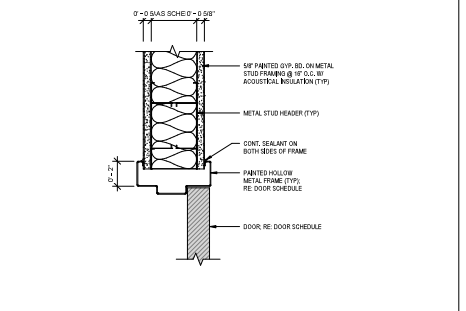
9 DETAIL @ EXIST. COLUMN (TYP.)
SCALE: 1" = 1'-0"



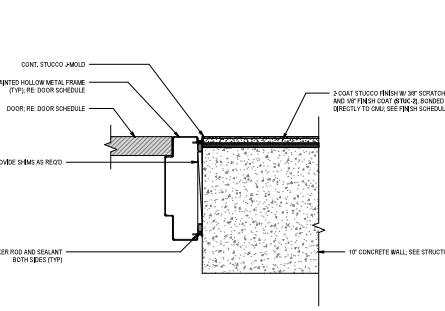
8 DETAIL - WALL TRIM @ SF (NO MULLION)
SCALE: 3" = 1'-0"



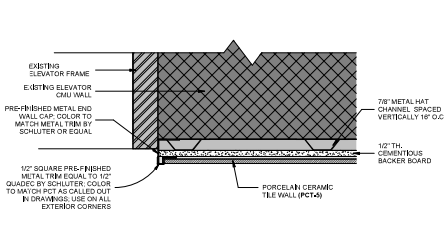
7 DETAIL - WALL TRIM @ SF (W/ MULLION)
SCALE: 3" = 1'-0"



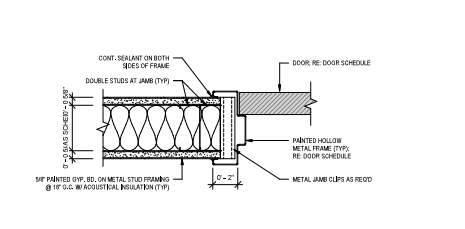
6 Interior Door Head Typical
SCALE: 3" = 1'-0"



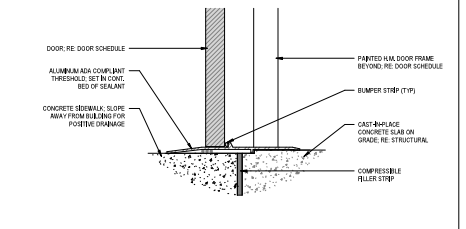
5 Door Jamb @ Stucco
SCALE: 3" = 1'-0"



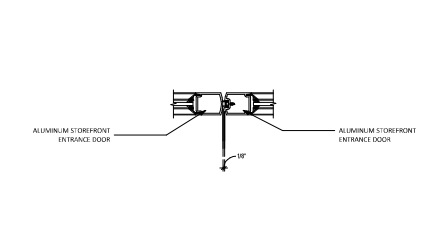
4 NEW TILE WALL @ EXISTING ELEVATOR DOOR
SCALE: 3" = 1'-0"



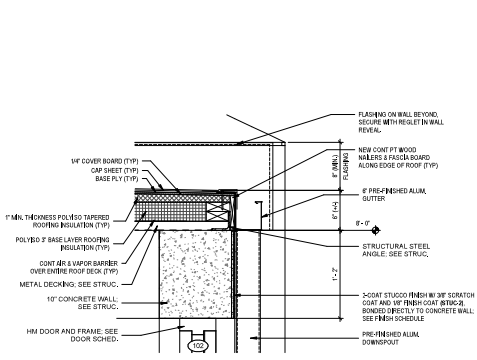
3 Interior Door Jamb Typical
SCALE: 3" = 1'-0"



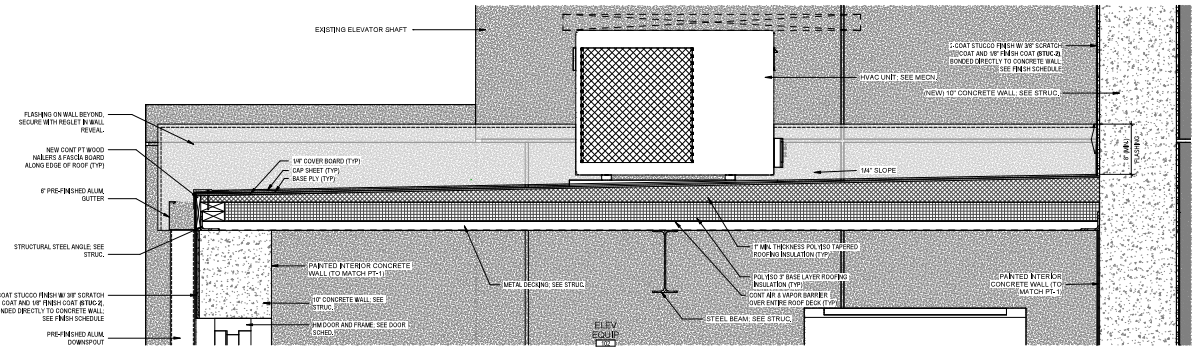
2 Door Sill Detail @ Exterior H.M. Doors
SCALE: 3" = 1'-0"



1 SF ENTRANCE DOORS - MEETING STILES
SCALE: 3" = 1'-0"



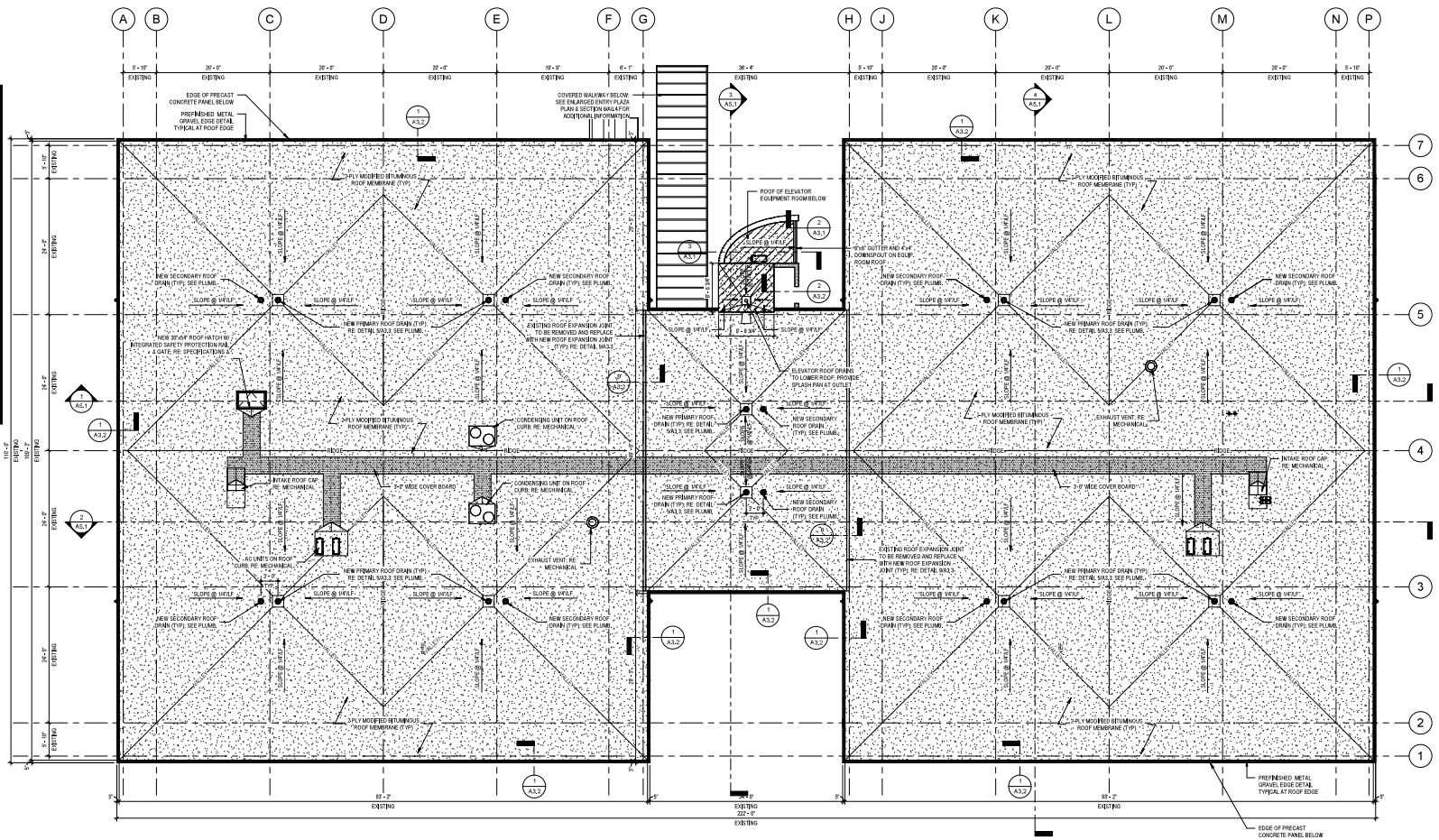
2 DETAIL - GUTTER ON LOWER ROOF
 SCALE: 1 1/2" = 1'-0"



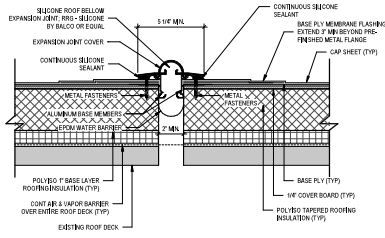
3 ROOF - LOWER ROOF DETAIL
 SCALE: 1 1/2" = 1'-0"

- Roof Assembly Notes**
- 1. 2PLY MODIFIED BITUMINOUS ROOF ASSEMBLY (OVER ROOF)
 - 2. 1/4\"/>
- NOTE: AVERAGE RAVALLE ACROSS THE ROOF IS APPROXIMATELY 2.5%.**
- 3. TAPERED POLYISOCYANURATE RIBD INSULATION (PIE SECTION 07510). SLOPE AT 1/4\"/>
- 4. 2\"/>
- 5. CONTINUOUS AIR AND VAPOR BARRIER (PIE SECTION 07530).
 - 6. EXISTING STRUCTURAL ROOF DECK, 2\"/>

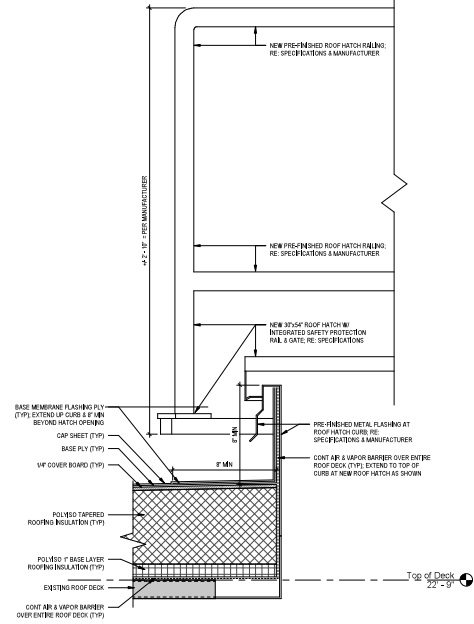
- General Roof Notes**
- ALL SHEET METAL WORK INCLUDING FLASHING, TRIM, CAP FLASHING, ETC., SHALL BE PREFINISHED METAL AND SHALL BE INSTALLED ACCORDANCE WITH METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (MANUAL).
 - WATER TEST ALL ROOF PENETRATIONS UPON COMPLETION OF PROJECT.
 - PAINT ALL PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.
 - RE-DRAIN (S) PREPARATIONS FOR ROOFING PRODUCTS.
 - ALL DIMENSIONS ARE TO THE FACE OF FINISH OR FACE OF STEEL FRAMING OR WALL BELOW SHOWN UNLESS INDICATED OTHERWISE.
 - ALL ANGLES ARE 90 OR 45 DEGREES UNLESS DIMENSIONED OTHERWISE.
 - SEE A1, SHEETS FOR FLOOR PLANS.
 - SEE A4, SHEETS FOR BUILDING ELEVATIONS.
 - SEE A5, SHEETS FOR BUILDING SECTIONS.
 - SEE A7, SHEETS FOR REFLECTED CEILING PLANS.



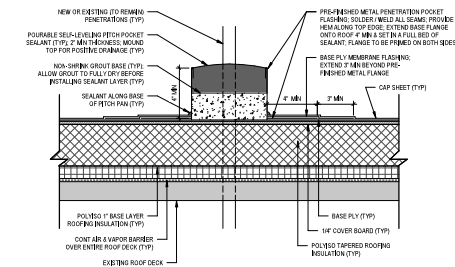
Roof Plan
 SCALE: 1/8" = 1'-0"



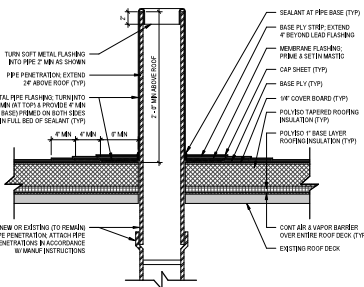
9 Roof Detail - Typical Roof Expansion Joint
SCALE: 3" = 1'-0"



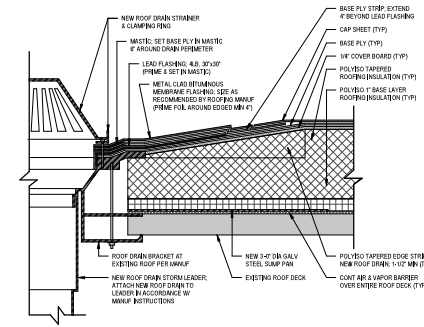
8 Roof Detail - Roof Hatch
SCALE: 3" = 1'-0"



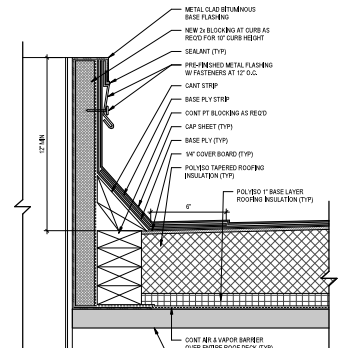
7 Roof Detail - Typical Pitch Pan
SCALE: 3" = 1'-0"



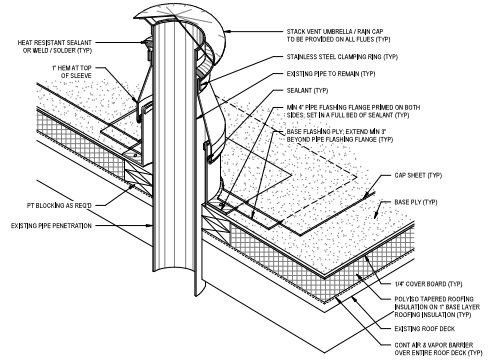
6 Roof Detail - Typical Roof Vent
SCALE: 1 1/2" = 1'-0"



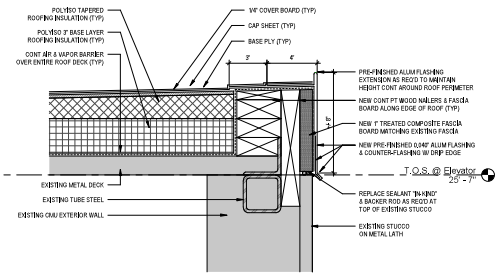
5 Roof Detail - Typical Roof Drain
SCALE: 3" = 1'-0"



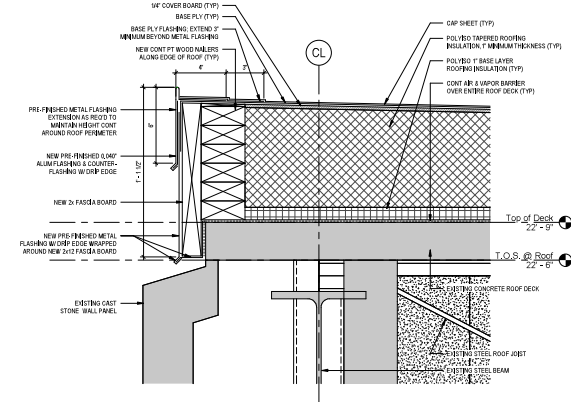
4 Roof Detail - Typical Roof Curb
SCALE: 3" = 1'-0"



3 Roof Detail - Typical Flue w/ Cap
SCALE: 1 1/2" = 1'-0"



2 Roof Detail - Eave @ Elevator
SCALE: 3" = 1'-0"



1 Roof Detail - Typical Eave
SCALE: 3" = 1'-0"



1 EXTERIOR RENDERING - VIEW FROM NORTH STREET
SCALE: N.T.S.



2 EXTERIOR RENDERING - VIEW FROM NORTH JEFFERSON STREET
SCALE: N.T.S.

ISSUANCE SCHEDULE	
2023.07.20	Final Contract
2023.08.01	Pre-Bidding
2023.08.15	Pre-Construction
2023.08.18	Bid Docs

Drawn By: C.HAS
 Checked By: CRD

AR PM 20-003

BID DOCUMENTS

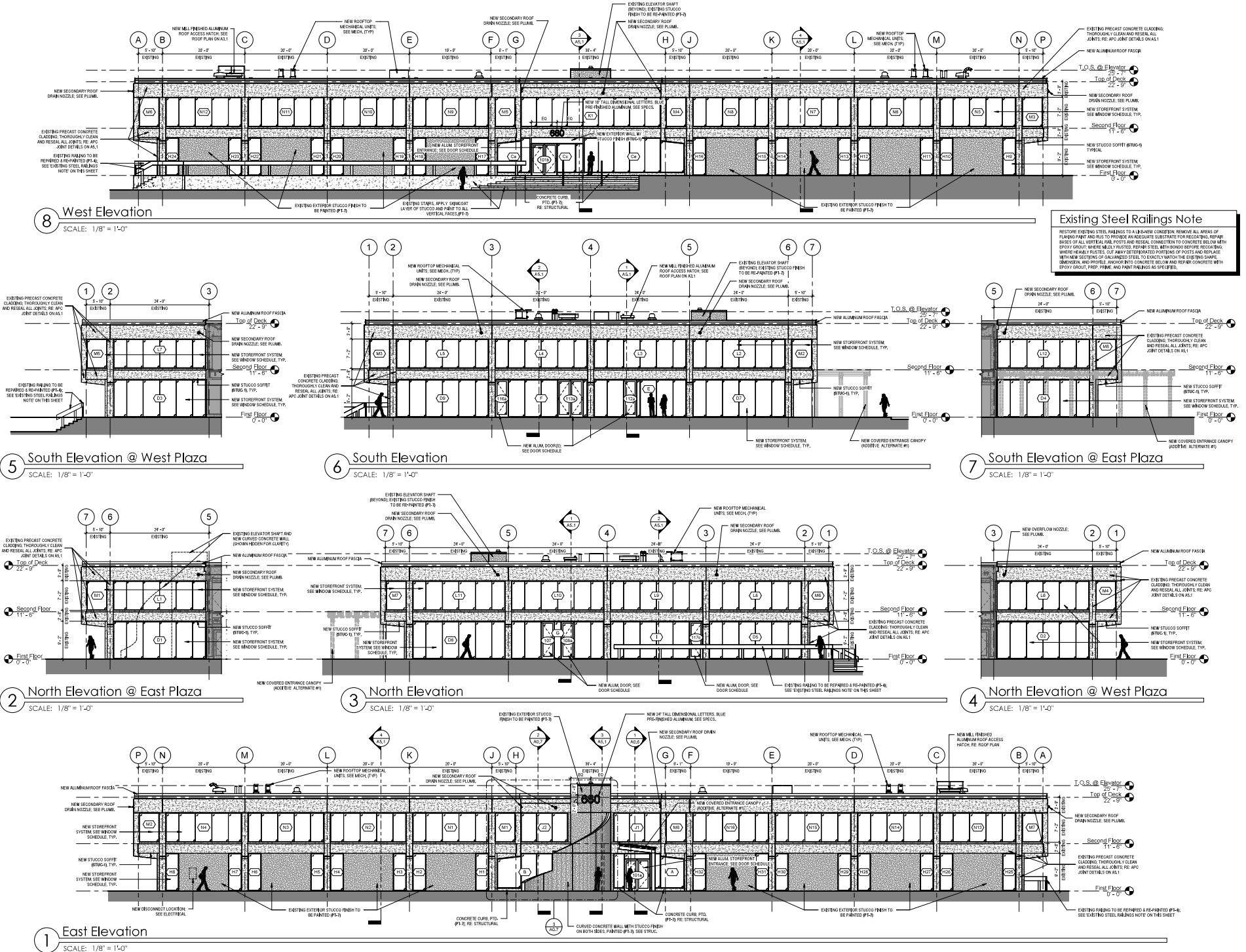


ISSUANCE SCHEDULE	
2022.02.01	2D - CONCEPT DESIGN
2022.04.01	3D - PERMISSIVE DESIGN
2024.06.01	4D - PERMISSIVE DESIGN

Drawn By: C.F.A.S.
Checked By: C.F.A.S.

AR-PRM-2003

BID DOCUMENTS



Existing Steel Railings Note

RESTORE EXISTING STEEL RAILINGS TO A LIKE NEW CONDITION. REMOVE ALL AREAS OF PLAIN PAINT AND REPAIR TO PROVIDE AN ADEQUATE SUBSTRATE FOR RECOATING. REPAIR BEHIND OF ALL VERTICAL AND HORIZONTAL CONNECTIONS TO CONCRETE BELOW WITH FIBER REINFORCED POLYMER CONCRETE. REPAIR SHALL BE DONE BEFORE RECOATING. WHERE HEAVILY PAINTED, CUT AWAY DETERMINED PORTIONS OF PAINTS AND REPLACE WITH NEW RECOATING. ALL NEW RECOATING SHALL MATCH THE EXISTING SHAPE, DIMENSION AND PROFILE. ANCHORS INTO CONCRETE BELOW AND REPAIR CONCRETE WITH GROUT (PROOF, FINE, HUME, AND PAINT INHIBITS AS SPECIFIED).