

ADDENDUM NO. 3

March 31, 2021

RE: **Renovations to Bailey APAC Middle School – South Wing**
 Jackson Public Schools
 Jackson, Mississippi
 A/E Project No. 18-032d

FROM: Eley Guild Hardy Architects
 329 Capitol Street
 Jackson, MS 39201
 (601) 354-2572

TO: Prospective Bidders

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated February 24, 2021. Acknowledge receipt of this Addendum in the space provided on the Proposal Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of 6 pages, 8 pages of 8-1/2”x11” attachments, and 2 pages of full-size attachments.

NOTE: THE BID PROPOSAL FORM HAS BEEN REVISED.

CLARIFICATION

1. Helical Piles: Construction shall be executed per construction documents. Voluntary alternate underpinning will **not** be considered.

CHANGES TO PROJECT MANUAL

1. Section 00 41 13 – Proposal Form: Delete this section in its entirety and replace with the attached section “Section 00 41 13R – Proposal Form”.
2. Section 01 23 00 – Alternates: Delete this section in its entirety and replace with the attached section “Section 01 23 00R – Alternates”. *Note: Bid Alternate #2C was added.*
3. Section 01 45 10 – Construction Quality Control: Under paragraph ‘1.2 Staffing’ under paragraph ‘A’ delete sentence “2” in its entirety. ***Note: All duties outlined within the specification section for the Quality Control Manager to perform shall be performed by either the Superintendent or the Project Manager.***

CHANGES TO DRAWINGS

1. Sheet G001 – Drawing Index & Project Information: Under ‘Bid Alternates’ add the following: “Bid Alternate #2C: All work as indicated for Corridor D104.2/A104.2 & D202/A202 & Other Areas as Specifically Indicated.”.
2. Sheet D101 – Enlarged Existing/Demolition Floor Plans:
 - a. Under ‘Building Demolition Keynotes’ delete Keynote “D27” and Keynote “D33” in its entirety. *Note: This work will not be performed under this contract. (Note: this revision applies to all sheets the Building Demolition Keynotes are on)*
 - b. On 1/D101 delete Demolition Keynote “D27” and Demolition Keynote “D33” from plan.
 - c. On 2/D101 revise text reading “Exist. Roof Below” to read “Exist. Roof Below – See D108 for demolition information”.
 - d. On 2/D101 revise text reading “Exist Roof Vents & Cover Box To Remain” to read “Exist Roof Vents & Cover Box to be demolished – see D108 for demolition information”.
 - e. On 2/D101, In ‘Corridor D202’ work associated with Keynote “D41” is part of Bid Alternate #2C.
 - f. On 2/D101 revise note reading “Note: Work in This Corner & Closet D201.1 is Part of Base Bid” to read “Note: Work in This Corner & Closet D201.1 is Part of Bid Alternate #2C”
3. Sheet D102 – Demolition Reflected Ceiling Plans:
 - a. Under ‘Building Demolition Keynotes’, on Keynotes “D24” and “D37” add the following sentence at the end of both Keynotes: “Part of Base Bid”. *(Note: this revision applies to all sheets the Building Demolition Keynotes are on)*
 - b. On 1/D102 In Corridor D104.2 work associated with Keynotes “D23” and “D38” is part of Bid Alternate #2C.
 - c. On 2/D102 In Corridor D202 delete Keynote “D25” in its entirety. *This work will not be performed under this contract.*
4. Sheet D105 – Interior Demo Elevations – Classroom A105 & Corridor: Revise the following:
 - a. On 5/D105 delete the enlarged detail photo and associated text reading “See D101 for Details & Demo Info”.
 - b. Revise note on sheet reading “Note: All Work on This Sheet Pertaining to Corridor D104.2 is Part of Base Bid” to read “Note: All Work on This Sheet Pertaining to Corridor D104.2 is Part of Bid Alternate #2C Except for Work Associated With Keynote “D.v” Which is Part of Base Bid”.

5. Sheet D106 – Interior Demo Photos – Corridor & Classroom D201: Revise the following:
 - a. On 3/D106 all work associated with Keynote “D.v” is Part of Base Bid.
 - b. On 3/D106 revise note reading “Note: All Work In Southwest Corner of Classroom D201 & Closet D201.1 is Part of Base Bid Including Installation” to read “Note: All Work In Southwest Corner of Classroom D201 & Closet D201.1 is Part of Bid Alternate #2C”.
 - c. On 4/D106 revise note reading “Note: All Work In Southwest Corner of Classroom D201 & Closet D201.1 is Part of Base Bid” to read “Note: All Work In Southwest Corner of Classroom D201 & Closet D201.1 is Part of Bid Alternate #2C”.
 - d. On 6/D106 Revise text reading “See 3/A104 For Removal & Infill @ Door & Removal of Portion Of Wall For Shoring Install” to read “See D101 For Removal & Infill @ Door & Removal of Portion Of Wall For Shoring Install – Work is Part of Base Bid”
 - e. On 6/D106 Revise note reading “Note: All Work Associated With Corridor D202 is Part of Base Bid” to read “Note: All Work Associated With Corridor D202 is Part of Bid Alternate #2C Unless Noted Otherwise”.
6. Sheet D108 – Roof Demolition Plan: Add this sheet in its entirety.
7. Sheet S101 – Structural General Notes: Revise the following:
 - a. Under ‘Helical Piles’ revise note 1 to read as follows: “1. HELICAL PILES SHALL BE INSTALLED TO AN ALLOWABLE LOAD CAPACITY AS SHOWN ON PLANS AND A MINIMUM EMBEDMENT OF 30 FEET.”
 - b. Under ‘Helical Piles’ revise note 3 to read as follows: “3. UNDER FOOTINGS, IN FOUR-PILE GROUPINGS, AT LEAST TWO PILES SHALL BE BATTERED, IN OPPOSITE DIRECTIONS. UNDER WALLS, IN SINGLE-PILE LOCATIONS, ALL PILES SHALL BE BATTERED WITH HELIX DIRECTED UNDERNEATH WALL.”
8. Sheet S201 – Foundation Plan: On ‘1/S201 Foundation Plan’ revise note reading “Helical Pile with Walkway Bracket Supporting Steel Beam, see 2/S403” to read “Helical Pile with Walkway Bracket Supporting Steel Beam, see 6/S403”.
9. Sheet S202 – First Floor Framing Plan: Under ‘Plan Notes’ add the following notes:
 - a. “8. EXISTING STEEL COLUMN SUPPORTING ROOF STRUCTURE TO BE REMOVED FOLLOWING ALL STRUCTURAL REPAIRS”.
 - b. “9. IN THE HALLWAYS, WITH CONCRETE STRUCTURE, THE ALLOWABLE LIVE LOAD DURING CONSTRUCTION SHALL BE 100 PSF. IN THE CLASSROOMS, WITH WOOD FLOORS AND STEEL JOISTS, THE ALLOWABLE LIVE LOAD DURING CONSTRUCTION SHALL BE 50 PSF. THESE CONSTRUCTION LIVE LOADS SHALL NOT BE EXCEEDED UNLESS AN ANALYSIS IS PERFORMED AND SUBMITTED TO THE ENGINEER FOR APPROVAL.”

10. Sheet S203 – Second Floor Framing Plan: Under ‘Plan Notes’ add the following note:
“6. EXISTING STEEL COLUMN SUPPORTING ROOF STRUCTURE TO BE REMOVED FOLLOWING ALL STRUCTURAL REPAIRS”.
11. Sheet S301 – Partial Shoring Plans: On Detail ‘2/S301 First Floor Shoring Plan’ and on Detail ‘3/S301 Second Floor Shoring Plan’ add the following note to both:
“NOTE: EXISTING STEEL COLUMN SUPPORTING ROOF STRUCTURE TO BE REMOVED FOLLOWING ALL STRUCTURAL REPAIRS”.
12. Sheet S402 – Details:
 - a. Add the following note to the sheet under Detail 3 and 4:
“Note: All piles on project are helical pull-down piles (helical piles with exterior grout shafts) as shown on Detail 3/S402.”
 - b. On detail ‘3/S402 Typical Helical Pile Detail 1’ revise dimension text reading “25’-0” MINIMUM EMBEDMENT” to read “30’-0” MINIMUM EMBEDMENT”.
 - c. On detail ‘4/S402 Typical Helical Pile Detail 2’ under ‘Note’ add the following Notes:
“2. SHORE EXISTING CONDITIONS BEFORE EXCAVATION FOR INSTALLATION OF HELICAL PILES COMMENCES. SHORING SHALL REMAIN IN PLACE UNTIL HELICAL PILES ARE FULLY INSTALLED AND GROUT FILL HAS CURED.
13. Sheet S403 – Details: On Detail ‘4/S403 First Floor Openings For HVAC Ducts -2’ add the following Note:
“NOTE: EXISTING STEEL COLUMN SUPPORTING ROOF STRUCTURE TO BE REMOVED FOLLOWING ALL STRUCTURAL REPAIRS”.
14. Sheet A101 – Enlarged Renovation Floor Plans: Revise the following:
 - a. Under ‘Building Renovation Keynotes’ delete Keynote “R27” and Keynote “R33” in its entirety. *Note: This work will not be performed under this contract. (Note: this revision applies to all sheets the Building Renovations Keynotes are on)*
 - b. Under ‘Building Renovation Keynotes’ delete Keynote “R18” in its entirety. *(Note: this revision applies to all sheets the Building Renovation Keynotes are on)*
 - c. Under ‘Building Renovation Keynotes’ add the following sentence to the end of Keynote “R42”: “Paint is Part of Bid Alternate #2C”. *(Note: this revision applies to all sheets the Building Renovation Keynotes are on)*
 - d. Under ‘Building Renovation Keynotes’ add the following sentence to the end of Keynote “R24”: “Work is Part of Base Bid”. *(Note: this revision applies to all sheets the Building Renovation Keynotes are on)*
 - e. On 1/A101 delete Keynote “R27” and “R33” from plan.
 - f. On 2/A101, In Corridor A202 all work associated with Keynote “R41” is part of Bid Alternate #2C”.

- g. On 2/A101 revise note reading “Exist. Built-Up Roof Below” to read “Roof Below – See A109 for Roof Renovation Information and Details”.
 - h. On 2/A101 revise note reading “Note: Work in This Corner of Corridor & Closet D201.1 is Part of Base Bid” to read “Note: Work in This Corner of Corridor & Closet A201.1 is Part of Bid Alternate #2C”
 - i. On 2/A101 delete note reading “Exist. Roof Vents Below” in its entirety.
 - j. On 2/A101, at roof area delete Keynote “R18” in its entirety.
15. Sheet A102 – Renovation RCP & Auditorium Lobby Reno Plan: Revise the following:
- a. On 1/A102 in Corridor A104.2 all work associated with Keynote “R23” and “R38” are part of Bid Alternate #2C.
 - b. On 2/A102 in Corridor A202 delete Keynote “R25” in its entirety. *This work will not be performed under this contract.*
 - c. On 2A102 in Closet of room A201 all work associated with Keynote “R25” is part of Bid Alternate #2C.
16. Sheet A105 – Interior Elevations: Revise the following:
- a. Under ‘Interior Renovation Keynotes’ add the following sentence to the end of Keynote “R.v”: “Paint is Part of a Bid Alternate – See Specific Room Information for Bid Alternate #”. (*Note: this revision applies to all sheets the Building Renovation Keynotes are on*)
 - b. On 8/A105 delete text reading “See A101 For Work @ Door Threshold & Sill”.
 - c. Revise note reading “Note: All work on this Sheet Pertaining to Corridor A104.2 is Part of Base Bid” to read “Note: All work on this Sheet Pertaining to Corridor A104.2 is Part of Bid Alternate #2C”.
17. Sheet A106 – Interior Elevations: Revise the following:
- a. On 3/A106 all work associated with Keynote “R.v” is part of Base Bid”.
 - b. On 3/A106 Revise note reading “Note: All Work in Southwest Corner of Classroom A201 & Closet A201.1 is Part of Base Bid” to read “Note: All Work in Southwest Corner of Classroom A201 & Closet A201.1 is Part of Bid Alternate #2C”
 - c. On 5/A106 revise note reading “Note: All work associated with Corridor A202 is Part of Base Bid” to read “Note: All work on this Sheet Pertaining to Corridor A202 is Part of Bid Alternate #2C”.
18. Sheet A107 – Interior Elevations: add the following note in its entirety: “Note: All work indicated for Entrance A110 is part of Bid Alternate #3 or Bid Alternate #3A”.
19. Sheet A109 – Roof Renovation Plan: Add this sheet in its entirety.

20. Sheet I100 – Room Finish Schedule & Details:

- a. Under 'Remarks' Revise the following Remarks:
 - i. "H. All Work Associated With Painting is Part of Bid Alternate #2C"
 - ii. "I. Work is Part of Bid Alternate #2C"
- b. Under 'Room Finish Schedule Revise the following:
 - i. On Room No. 'A104' under the 'Remarks' column add Remark "H".
 - ii. On Room No. 'A104.1' under the 'Remarks' column add Remark "H".
 - iii. On Room No. 'A104.2' under the 'Remarks' column add Remark "H".
 - iv. On Room No. 'A201.1' under the 'Remarks' column add Remark "I".
 - v. On Room No. 'A202' under the 'Remarks' column add Remark "H".
 - vi. On Room No. 'A207' under the 'Remarks' column add Remark "H".

END OF ADDENDUM 3

**00 41 13R - PROPOSAL
FORM**

Date _____

To: **Board of Trustees, Jackson Public School District, Jackson, Mississippi**

RE: **Renovations to Bailey APAC Middle School – South Wing (the "Project")**

Prepared by: **Eley Guild Hardy Architects**

**329 Capitol Street
Jackson, MS 39201**

Ladies and Gentlemen:

I/We, having carefully examined the bid specifications and all addenda issued prior to the bid opening date, having visited the Project site and apprised myself/ourselves of the conditions affecting the work to be performed, and having obtained and correlated any other information deemed necessary by me/us to submit this bid, hereby propose to furnish all services and labor, and all supplies, materials and equipment required to complete the work at the cost indicated hereinbelow. I/We will not withdraw this bid for forty-five (45) days from the date of bid opening. If written notice of acceptance of this bid is received by me/us from JPSD within forty- five (45) days after the date of the bid opening, I/we shall submit to the Project Administrator, within ten (10) working days after receipt of such notice, an executed contract and all other documentation required by the bid specifications. **I/WE UNDERSTAND AND AGREE THAT NEITHER THE AWARD OF THIS BID TO ME/US BY THE DISTRICT'S BOARD OF TRUSTEES NOR RECEIPT BY ME/US OF A NOTICE OF ACCEPTANCE OF THIS BID SHALL CONSTITUTE THE MAKING OF A CONTRACT BETWEEN JPSD AND ME/US, WHICH SHALL BE CONDITIONED UPON THE EXECUTION BY BOTH JPSD AND ME/US OF A FORMAL, WRITTEN AGREEMENT.**

Respectfully submitted,

CONTRACTOR NAME: _____

ADDRESS: _____

PHONE NUMBER: _____

SIGNATURE: _____

PRINT NAME: _____

TITLE: _____

DATE: _____

CONTRACTOR'S CERTIFICATE OF RESPONSIBILITY NUMBER, IF REQUIRED:

CONTRACTOR'S LICENSE NUMBER AND EXPIRATION DATE

SURETY NAME AND ADDRESS: _____

Contractor shall indicate the address to which notice of acceptance, notice to proceed and all other written communications relative to the Project shall be transmitted by JPSD.

Address if **mailed**:

Address if **Hand-Delivered**:

State Contractor's form of business organization, i.e. corporation, partnership, limited liability company, etc. If Contractor is a corporation, indicate the state of incorporation. Also, indicate Contractor's domicile. If Contractor is a partnership or form thereof, list the names of all partners:

Contractor is a: Resident Contractor Non-Resident Contractor

Non-Resident Contractors: pursuant to Miss. Code Section 31-3-21, a non-resident contractor must submit with its bid a copy of its resident state's statute pertaining to such state's treatment of non-resident contractors. Failure to submit this information may result in rejection of Contractor's bid or termination of Contractor's contract with the District.

Please select one of these options to help us track minority contractor ownership.

Contractor is: Non-Minority Minority Woman & Minority Woman

Indicate if Contractor Has Made Good Faith Efforts to Obtain MBE/WBE Participation

Yes -

Describe Efforts to Obtain MBE/WBE Participation

(Attach Additional Pages if Necessary)

Acknowledgment of Receipt of Addenda

Contractor shall acknowledge receipt of all addenda issued during the course of this bid process. In addition to acknowledging receipt of addenda, the addenda may require additional information from Contractor (e.g., additional or modified pricing information), in which case the addenda shall not only be acknowledged below but shall be completed and attached to Contractor's bid at the time of submission. Receipt of the following addenda issued during the course of this bid is hereby acknowledged:

Addendum Number		Date	
Addendum Number		Date	
Addendum Number		Date	
Addendum Number		Date	
Addendum Number		Date	
Addendum Number		Date	
Addendum Number		Date	

Time of Completion

Time is an important consideration on the project. If this Bid is accepted, we will substantially complete Base Bid Phase I by August 2, 2021 and substantially complete other phases of the Work in the following consecutive calendar days (Alternate days will be added to the Base Bid days):

Base Bid Phase II: ____ Days

Base Bid Phase III: ____ Days

Bid Alternate #1: ____ Additional Days (if any)

Bid Alternate #2: ____ Additional Days (if any)

Bid Alternate #2A: ____ Additional Days (if any)

Bid Alternate #2B: ____ Additional Days (if any)

Bid Alternate #2C: ____ Additional Days (if any)

Bid Alternate #3: _____ Additional Days (if any)

Bid Alternate #3A: _____ Additional Days (if any)

Cost Proposal

Base Bid (for all phases) Lump Sum Price \$ _____

Write Out Amount of Bid: _____

Bid Alternate #1:

All Work Associated with Mechanical Equipment, Add to the Base Bid the Sum of:

\$ _____

Write Out Amount of Bid: _____

Bid Alternate #2:

All Work Associated with Demolition & Renovations of Interior Finishes at Rooms D101/A101, D101.1/A101.1 and D103/A103, Add to the Base Bid the Sum of:

\$ _____

Write Out Amount of Bid: _____

Bid Alternate #2A:

All Work Associated with Demolition & Renovations of Interior Finishes at Classroom D105/A105, Add to the Base Bid the Sum of:

\$ _____

Write Out Amount of Bid: _____

Bid Alternate #2B:

All Work Associated with Demolition & Renovations of Interior Finishes at Classroom D201/A201, Add to the Base Bid the Sum of:

\$ _____

Write Out Amount of Bid: _____

Bid Alternate #2C:

All Work Associated with Demolition & Renovations of Work as indicated on Plans for Corridor D104.2/A104.2 & Corridor D202/A202 and other areas as specifically noted on Drawings, Add to the Base Bid the Sum of:

\$ _____

Write Out Amount of Bid: _____

Bid Alternate #3:

All Work Associated with Demolition & Renovations for Interior Finishes at Entrance Lobby D110/A110, Add to the Base Bid the Sum of:

\$ _____

Write Out Amount of Bid: _____

Bid Alternate #3A:

All Work Associated with Demolition & Renovations for Wood Doors and Hardware at Entrance Lobby D110/A110, Add to the Base Bid the Sum of:

\$ _____

Write Out Amount of Bid: _____

Unit Price 1:

Provide wood wall base: Provide a unit price to provide and install wood wall base matching the existing wood wall base in thickness, height, species, and profile at locations not otherwise indicated on the Drawings or included in the base bid. Unit price shall include the removal of existing rotten/damaged wood wall base, surface preparation, and installation and painting of new wood wall base:

\$ _____ (Per Linear Foot)

Write Out Amount of Bid: _____

Unit Price 2:

Provide wood wall crown molding: Provide a unit price to provide and install wood wall crown molding matching the existing wood wall crown molding in thickness, heights, species, and profiles at locations not otherwise indicated on the Drawings or included in the base bid. Unit price shall include the removal of existing rotten/damaged wood wall crown molding pieces, surface preparation, and installation and painting of new wood wall crown molding:

\$ _____ (Per Linear Foot)

Write Out Amount of Bid: _____

Unit Price 3:

Provide epoxy injection of cracked concrete sections at concrete columns, beams, and walls: Provide a unit price for Epoxy Injection Work and locations not otherwise indicated on the Drawings or included in the base bid. Unit price shall include the removal of existing concrete, surface preparation, and installation of epoxy for all Epoxy Injection repairs:

\$ _____ (Per Cubic Foot)

Write Out Amount of Bid: _____

End of Proposal Form

SECTION 01 23 00R – ALTERNATES

PART 1 – GENERAL

1.1 SUMMARY

- A. This Section includes administrative and procedural requirements for alternates.
- B. Coordinate related work and modify surrounding work as required to complete the project under Alternate designated in the Contract.

1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.3 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A Schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 – PRODUCTS

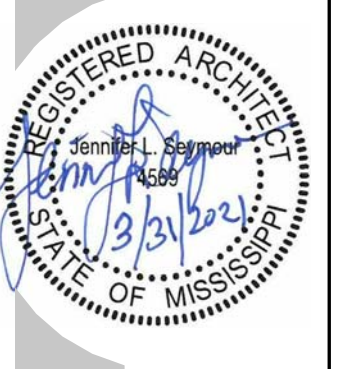
Not used.

PART 3 – EXECUTION

3.1 SCHEDULE OF ADDITIVE BID ALTERNATES

- A. Additive Bid Alternate 1: Mechanical Equipment – Add all costs associated with providing and installing new mechanical equipment at the mechanical enclosure and disposing of the existing mechanical equipment in lieu of relocating the existing mechanical equipment.
- B. Additive Bid Alternate 2: Interior Finishes Rooms D101/A101, D101.1/A101.1 & D103/A103 – Add all costs associated with demolishing and providing and installing interior materials and finishes as specifically indicated on architectural drawings.
- C. Additive Bid Alternate 2A: Interior Finishes Classroom D105/A105– Add all costs associated with demolishing and providing and installing interior materials and finishes as specifically indicated on architectural drawings
- D. Additive Bid Alternate 2B: Interior Finishes Classroom D201/A201– Add all costs associated with demolishing and providing and installing interior materials and finishes as specifically indicated on architectural drawings.
- E. Additive Bid Alternate 2C: Scope of work as indicated on Drawings for Corridor D104.2/A104.2 & D202/A202 and other areas as specifically noted on Drawings.
- F. Additive Bid Alternate 3: Interior Finishes Entrance Lobby D110/A110– Add all costs associated with demolishing and providing and installing interior materials and finishes as specifically indicated on architectural drawings.
- G. Additive Bid Alternate 3A: Wood Doors at Entrance Lobby D110/A110– Add all costs associated with demolishing and providing and installing wood doors and associated hardware as indicated on architectural drawings.

END OF SECTION



REV.	DATE / DESCRIPTION:
03.31.21	Addendum #3

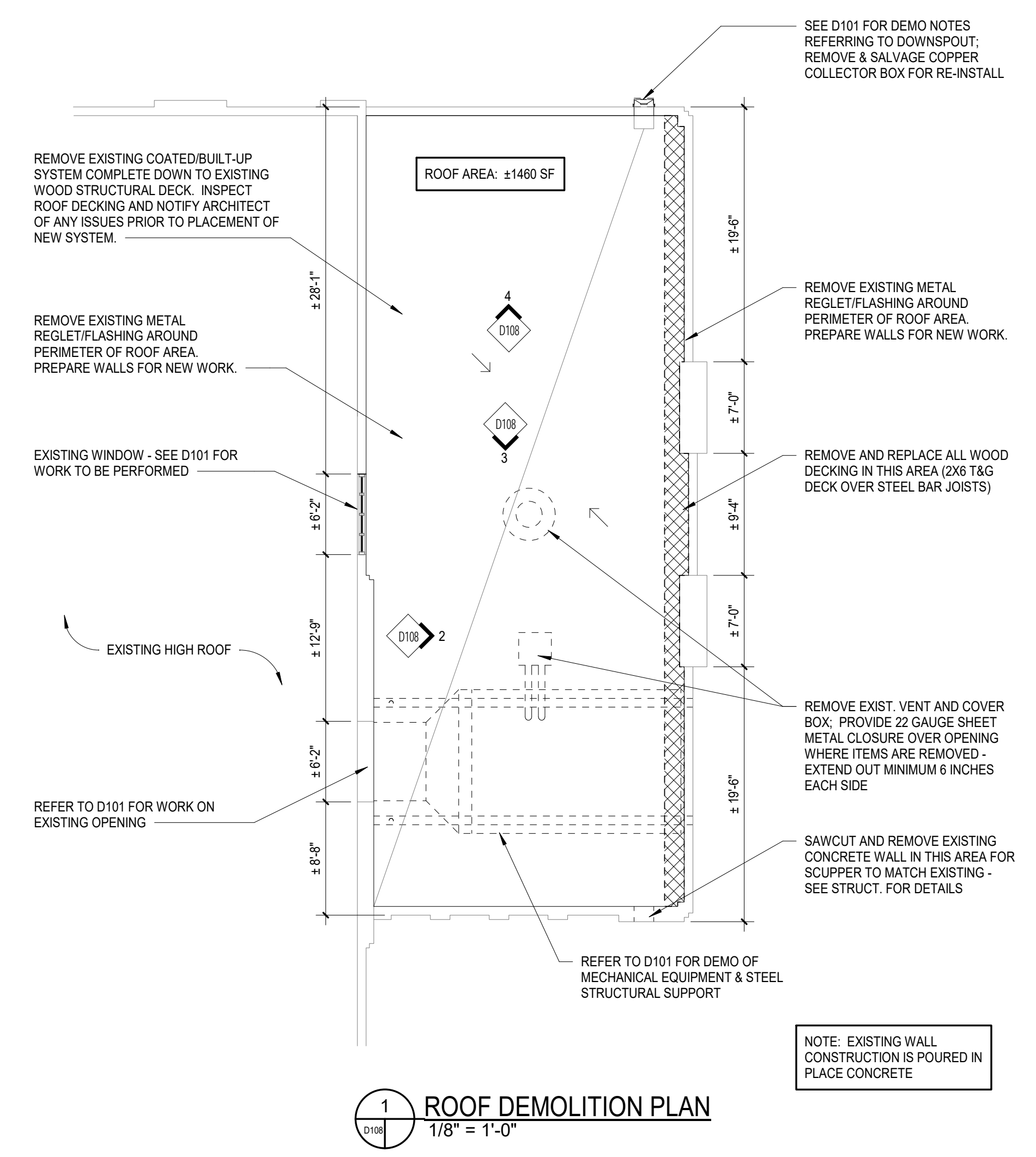
ELEY GUILD HARDY ARCHITECTS
329 EAST CAPITOL STREET, JACKSON, MS 39201
601.354.2572

NUMBER: 18-032d
DATE: 02/24/2021
DRAWN: Author
CHECKED: Checker

D108

DEMOLITION ROOF - GENERAL NOTES:

1. ALL INFORMATION IS BASED ON FIELD OBSERVATIONS AND OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, IN WRITING, OF THE CONDITION IN QUESTION BEFORE PROCEEDING WITH WORK IN THAT AREA.
2. CONTRACTOR IS TO ENSURE THAT ALL WORK AREAS ARE CLEANED AT THE END OF THE DAY.
3. THE WORK MUST BE SCHEDULED TO ENSURE THE LEAST DISRUPTION AND DISPLACEMENT OF THE OWNER.
4. MATERIALS TO BE DEMOLISHED SHALL BE DISPOSED OF OFF SITE IN A LEGAL LANDFILL.
5. AT ALL AREAS WHICH ARE TO RECEIVE NEW SURFACING, REMOVE ALL EXISTING ROOFING SYSTEM INCLUDING INSULATION, FELT PLYS, FLASHING, ROOFING ACCESSORIES, EDGE METAL, DOWNSPOUTS, SCUPPERS, BLOCKING, AND OTHER ROOF MOUNTED ITEMS WHICH INTERFERE WITH NEW WORK. REFER TO SPECIFIC ROOF DEMO NOTES FOR ADDITIONAL INFORMATION.
6. AFTER REMOVAL - INSPECT SUBSTRATE AND REPORT ANY DEFICIENCIES TO ARCHITECT. START OF NEW ROOFING WORK IS ACCEPTANCE OF CONDITIONS.
7. MECHANICAL AND/OR ELECTRICAL WORK SHALL BE DONE BY A LICENSED MECHANICAL/ELECTRICAL CONTRACTOR AND SHALL BE IN ACCORDANCE WITH ALL ASHRAE, NEC, AND SMACNA GUIDELINES.



2
D108
ROOF LOOKING SOUTH
1/2" = 1'-0"



3
D108
ROOF LOOKING WEST
1/2" = 1'-0"



4
D108
ROOF LOOKING SE
1/2" = 1'-0"



REV.	DATE / DESCRIPTION
03.31.21	Addendum #3

- NEW ROOF - GENERAL NOTES:**
1. ALL INFORMATION IS BASED ON FIELD OBSERVATIONS AND OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, IN WRITING, OF THE CONDITION IN QUESTION BEFORE PROCEEDING WITH WORK IN THAT AREA.
 2. CONTRACTOR IS TO ENSURE THAT ALL WORK AREAS ARE CLEANED AT THE END OF THE DAY.
 3. THE WORK MUST BE SCHEDULED TO ENSURE THE LEAST DISRUPTION AND DISPLACEMENT OF THE OWNER.
 4. PROVIDE POSITIVE SLOPE (1/8" PER 1'-0" MIN) TO SCUPPERS - SUBMIT TAPERED LAYOUT FOR ARCHITECT'S APPROVAL.

